

PLAN INDEX – SUBDIVISION & LAND DEVELOPMENT PLAN

NO.	SEC.	R.	TITLE
01	CV-1	X	COVER SHEET
02	CV-2	X	COVER SHEET – NOTES
03	EX-1		EXISTING CONDITIONS PLAN – OVERALL
04	EX-2		EXISTING CONDITIONS PLAN – NEIGHBORHOOD 7
05	LY-1	X	ARCONA TND OVERVIEW
06	LY-2	X	LAYOUT PLAN – OVERALL
07	LY-3	X	LAYOUT PLAN – NEIGHBORHOOD 7
08	PL-1	X	PARCEL LABEL PLAN – NEIGHBORHOOD 7
09	EA-1	X	EASEMENT PLAN – OVERALL
10	EA-2	X	EASEMENT PLAN – NEIGHBORHOOD 7 – SANITARY SEWER
11	EA-3	X	EASEMENT PLAN – NEIGHBORHOOD 7 – WATER
12	EA-4	X	EASEMENT PLAN – NEIGHBORHOOD 7 – STORM DRAINAGE
13	TM-1		TURNING MOVEMENT PLAN – NEIGHBORHOOD 7
14	TM-2		FUEL TRUCK CIRCULATION AND STACKING PLAN
15	CD-1		CONSTRUCTION DETAILS
16	UT-1		UTILITY PLAN – NEIGHBORHOOD 7
17	UT-2		UTILITY DETAILS
18	PF-1		PLAN & PROFILES – NEIGHBORHOOD 7 OFFSTREET STORM
19	PF-2		PLAN & PROFILES – NEIGHBORHOOD 7 OFFSTREET STORM
20	PF-3		PLAN & PROFILES – NEIGHBORHOOD 7 OFFSTREET STORM
21	PF-4		PLAN & PROFILES – NEIGHBORHOOD 7 OFFSTREET SANITARY SEWER
22	LA-1		LANDSCAPING PLAN – NEIGHBORHOOD 7
23	LA-2		LANDSCAPING DETAILS
24	LA-3		PEDESTRIAN ACCESS PLAN

X SHEET TO BE RECORDED

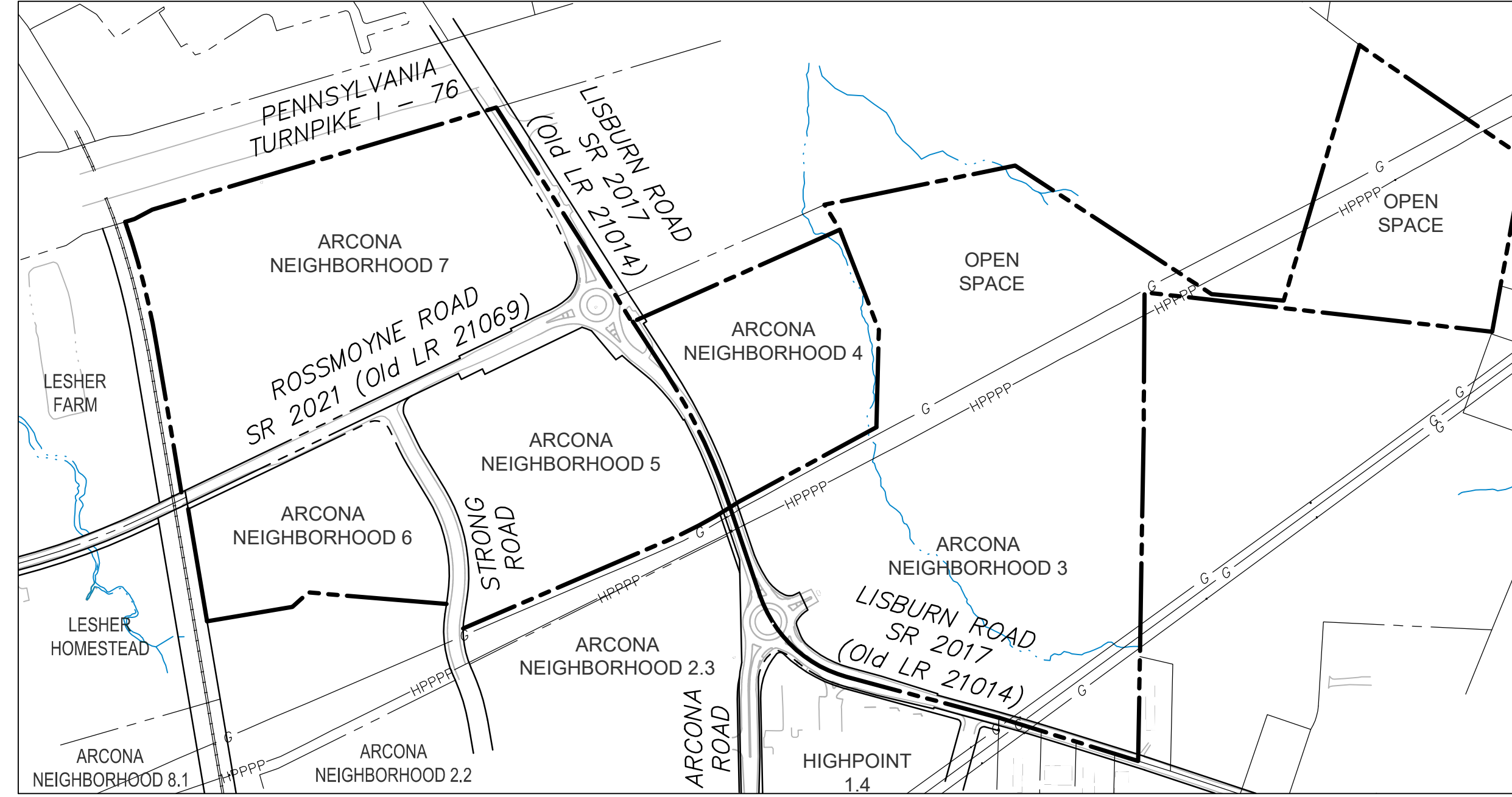
PLAN INDEX – PCSM AND E&S PLAN

NO.	SEC.	R.	TITLE
01	SM-1	X	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN COVER
02	SM-2	X	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN – OVERALL
03	SM-3	X	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN – NEIGHBORHOOD 3.1
04	SM-4	X	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN – NEIGHBORHOOD 3.1 & 4
05	SM-5	X	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN – NEIGHBORHOOD 5
06	SM-6	X	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN – NEIGHBORHOOD 6
07	SM-7	X	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN – NEIGHBORHOOD 7
08	SM-8	X	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
09	SM-9	X	POST CONSTRUCTION STORMWATER MANAGEMENT – TRENCH PLANS & DETAILS
10	SM-10	X	POST CONSTRUCTION STORMWATER MANAGEMENT – TRENCH PLANS & DETAILS
11	SM-11	X	POST CONSTRUCTION STORMWATER MANAGEMENT – BASIN DETAILS
12	SM-12	X	POST CONSTRUCTION STORMWATER MANAGEMENT – BASIN DETAILS
13	SM-13	X	POST CONSTRUCTION STORMWATER MANAGEMENT – BASIN DETAILS
14	SM-14	X	POST CONSTRUCTION STORMWATER MANAGEMENT – BASIN DETAILS
15	SM-15	X	POST CONSTRUCTION STORMWATER MANAGEMENT – SWALE PLAN & PROFILES
16	SM-16	X	POST CONSTRUCTION STORMWATER MANAGEMENT NOTES
17	RD-1		ROOF DRAIN CONNECTION PLAN – NEIGHBORHOOD 3.1
18	RD-2		ROOF DRAIN CONNECTION PLAN – NEIGHBORHOOD 4
19	RD-3		ROOF DRAIN CONNECTION PLAN – NEIGHBORHOOD 5
20	ES-1	X	EROSION & SEDIMENT CONTROL PLAN COVER
21	ES-2	X	EROSION & SEDIMENT CONTROL PLAN – OVERALL
22	ES-3	X	EROSION & SEDIMENT CONTROL PLAN – NEIGHBORHOOD 3.1
23	ES-4	X	EROSION & SEDIMENT CONTROL PLAN – NEIGHBORHOOD 4
24	ES-5	X	EROSION & SEDIMENT CONTROL PLAN – NEIGHBORHOOD 5
25	ES-6	X	EROSION & SEDIMENT CONTROL PLAN – NEIGHBORHOOD 6
26	ES-7	X	EROSION & SEDIMENT CONTROL PLAN – NEIGHBORHOOD 7
27	ES-8	X	EROSION & SEDIMENT CONTROL PLAN – DETAILS
28	ES-9	X	EROSION & SEDIMENT CONTROL PLAN – DETAILS
29	ES-10	X	EROSION & SEDIMENT CONTROL – BASIN DETAILS
30	ES-11	X	EROSION & SEDIMENT CONTROL – BASIN DETAILS
31	ES-12	X	EROSION & SEDIMENT CONTROL – NOTES
32	ES-13	X	EROSION & SEDIMENT CONTROL – BASIN DETAILS
33	ES-14	X	EROSION POTENTIAL ANALYSIS

X SHEET TO BE RECORDED

# PRELIMINARY SUBDIVISION & LAND DEVELOPMENT PLAN

## ARCONA NEIGHBORHOOD 7



SCALE: 1" = 300'

**EQUITABLE OWNER / DEVELOPER (ARCONA NEIGHBORHOOD 7):**

Charter Homes Development Company  
322 North Arch Street  
Lancaster, PA 17603

**OWNER (ARCONA NEIGHBORHOOD 7):**

Ruth D. Leshner (1/2 interest) and  
Strong & Detweiler Partnership (1/2 interest)  
1540 Rossmoyne Road  
Mechanicsburg, PA 17055

**SOURCE OF TITLE:**

Tax Map 13-10-0256-228  
Deed Book and Page: 201729508 (Ruth D. Leshner)  
Deed Book and Page: 247-1884 (Strong & Detweiler)

**Note:**

Arcona Neighborhood 7 area as shown on PL# 201807345 except where right-of-way was transferred to PennDOT around the Lisburn-Rossmoyne Roundabout, as recorded in instrument #201903119.

**SITE ACREAGE:**

ARCONA NEIGHBORHOOD 7 – GROSS AREA 14.36 Ac.

**SITE DATA:**

Highway Occupancy Permit is to be prepared by others and submitted to PENNDOT for approval.

**ZONING:**

R-2 Single-Family Residential District (TND Overlay)

**PROPOSED USE:**

60,000 S.F. – Neighborhood Shopping Center

**PROPOSED WATER SERVICE:**

PUBLIC

**PROPOSED SEWER SERVICE:**

PUBLIC

**NOTES:**

1. PA ONE CALL REQUESTED WAIVERS AND NOTES ARE LOCATED ON CV-2.
2. LEGENDS ARE LOCATED ON EX-1 & LY-2.
3. SOILS TABLE IS LOCATED ON EX-1.
4. THE OWNER(S) WILL PROVIDE A NOTARIZED CERTIFICATE OF OWNERSHIP SIGNATURE PRIOR TO FINAL PLAN RECORDATION.

**MUNICIPAL CERTIFICATION**

On this date \_\_\_\_\_, a municipal official has reviewed and hereby certifies that the SWM site plan meets all design standards and criteria of the Municipal Ordinance No. 2022-02.

MUNICIPAL OFFICIAL \_\_\_\_\_

**BMP CERTIFICATION**

I acknowledge the stormwater management facilities and BMPs to be permanent fixtures that can be altered or removed only after approval of a revised plan by the municipality.

LANDOWNER \_\_\_\_\_

**CERTIFICATE FOR REVIEW BY THE TOWNSHIP PLANNING COMMISSION**

Reviewed by the Township Planning Commission, Lower Allen Township, Cumberland County, PA

Reviewed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Chairman Secretary \_\_\_\_\_

**CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION**

COMMONWEALTH OF PENNSYLVANIA,  
COUNTY OF CUMBERLAND

On this, the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, the undersigned person, personally appeared \_\_\_\_\_, being \_\_\_\_\_ of the Strong & Detweiler Partnership, a Pennsylvania company, who being duly sworn according to the law, deposes and says that the partnership is the Owner of the property shown on this plan, that they are authorized to execute said plan on behalf of the partnership, that the plan is the act and deed of the partnership, that the partnership desires the same to be recorded and on behalf of the partnership.

My Commission Expires \_\_\_\_\_, 20\_\_\_\_

It is hereby certified that the undersigned are the owner(s) of the property shown in this plan and that all streets, easements and right-of-way or part thereof, if not previously dedicated are hereby tendered for dedication to the public use. That the stormwater management facilities and BMP's to be permanent fixtures can be altered or removed only after approval of a revised plan by Lower Allen Township.

Owner: \_\_\_\_\_

**CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION**

COMMONWEALTH OF PENNSYLVANIA,  
COUNTY OF CUMBERLAND

On this, the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, the undersigned, personally appeared Ruth D. Leshner, who being duly sworn according to the law, deposes and says that she is the Owner of the property shown on this plan, that she is authorized to execute said plan, that the plan is the act and deed of the individual, and that the individual desires the same to be recorded.

My Commission Expires \_\_\_\_\_, 20\_\_\_\_

It is hereby certified that the undersigned are the owner(s) of the property shown in this plan and that all streets, easements and right-of-way or part thereof, if not previously dedicated are hereby tendered for dedication to the public use. That the stormwater management facilities and BMP's to be permanent fixtures can be altered or removed only after approval of a revised plan by Lower Allen Township.

Owner: \_\_\_\_\_

**CERTIFICATE OF ACCURACY (BOUNDARY & TOPO SURVEY)**

I hereby certify that, to the best of my knowledge, the Boundary and Topographic survey shown and described hereon is true and correct to the accuracy required by the Subdivision and Land Development Ordinance of Lower Allen Township.

For Howell Surveying

\_\_\_\_\_, 20\_\_\_\_

**CERTIFICATE OF ACCURACY (LOT SURVEY)**

I hereby certify that, to the best of my knowledge, the Lot survey shown and described hereon is true and correct to the accuracy required by the Subdivision and Land Development Ordinance of Lower Allen Township.

For Towne Square Engineering

MARCH 25, 2026 *G. Mitchell King*

**CERTIFICATE OF ACCURACY (PLAN)**

I hereby certify that, to the best of my knowledge, the plan shown and described hereon is true and correct to the accuracy required by the Subdivision and Land Development Ordinance of Lower Allen Township.

For Towne Square Engineering

MARCH 25, 2026 *G. Mitchell King*

**STORMWATER MANAGEMENT DATA CERTIFICATION**

I, G. Mitchell King, P.E., P.L.S., on this date 3/25/26 have reviewed and hereby certify that the drainage plan meets all design standards and criteria of the Lower Allen Township Act 17 Stormwater Management Ordinance.

For Towne Square Engineering

*G. Mitchell King*

**CUMBERLAND COUNTY COUNTY PLANNING DEPARTMENT**

REVIEWED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY THE CUMBERLAND COUNTY COUNTY PLANNING DEPARTMENT.

DIRECTOR OF PLANNING \_\_\_\_\_

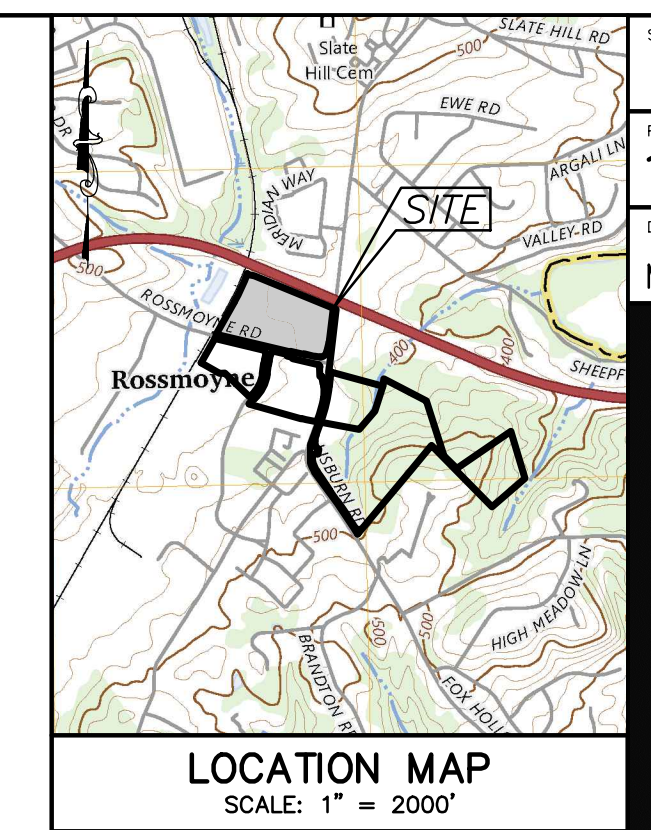
**CERTIFICATE FOR APPROVAL BY THE BOARD OF COMMISSIONERS**

Approved by the Board of Commissioners, Lower Allen Township, Cumberland County, PA

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Conditions of Approval Completed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

President Secretary \_\_\_\_\_



Sheet Number:  
01 of 24  
Project Number:  
15-100-35  
Date:  
MARCH 27, 2026

**ARCONA NEIGHBORHOOD 7**  
Lower Allen Township – Cumberland County, PA  
CHARTER HOMES & NEIGHBORHOODS

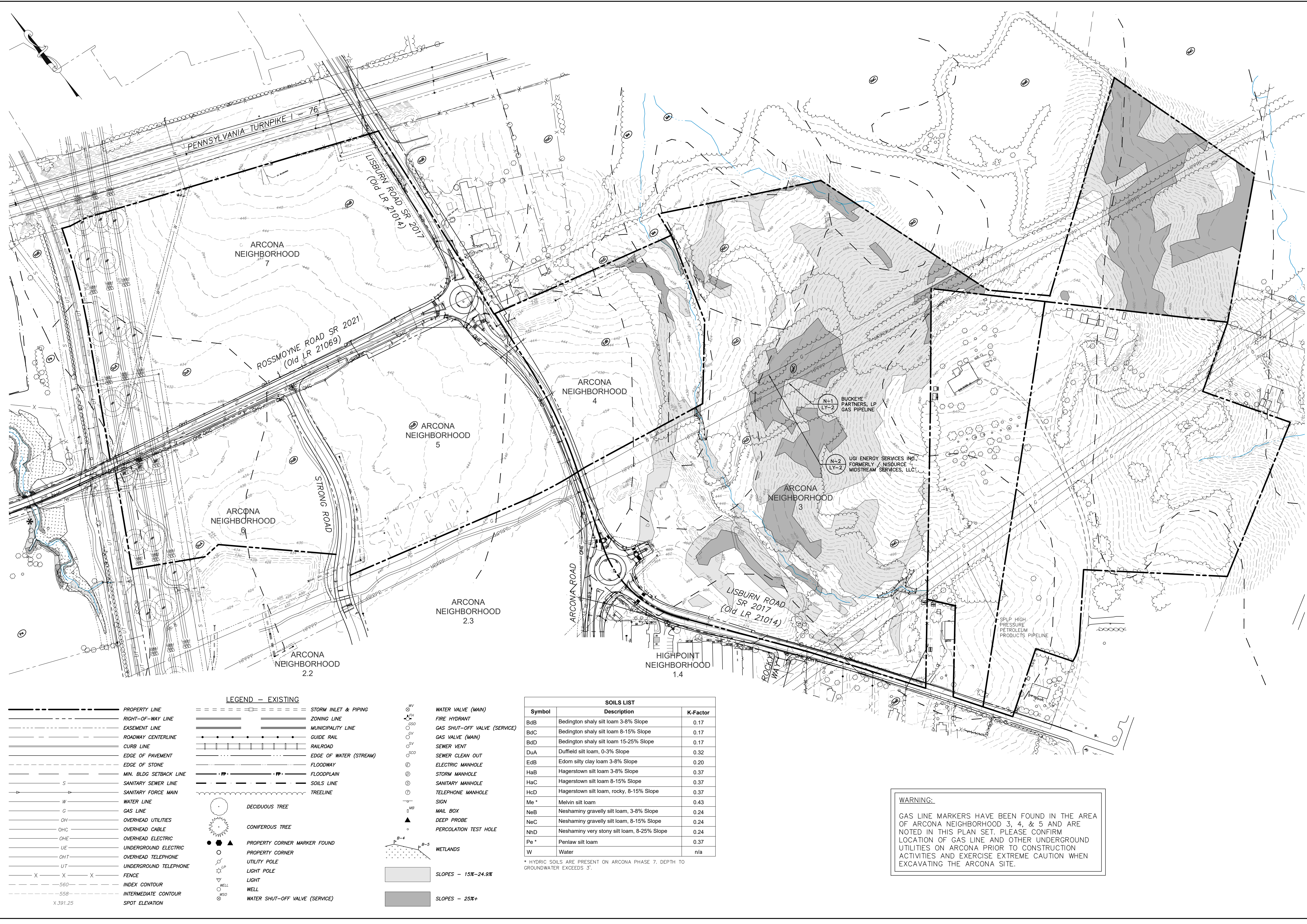
Drafting: **D TURNER**  
Checked by: **K POSTLETHWAIT**  
Project Engineer: **DAVID B. KESERIZE PE**  
Project Surveyor: **G. MITCHELL KING PE, PLS. THOMAS K. PHILLIPS PLS.**  
Scale: **1" = 300'**

Seal:

313 W. Liberty St., Suite 241 Lancaster, PA 17603 Phone: (717) 283-4538  
**TOWNE SQUARE ENGINEERING**  
Civil Engineers & Land Planners  
info@townesquareengineering.com

REVISIONS  
DATE  
Section Number:  
CV-1  
**PRELIMINARY**





**LEGEND - EXISTING**

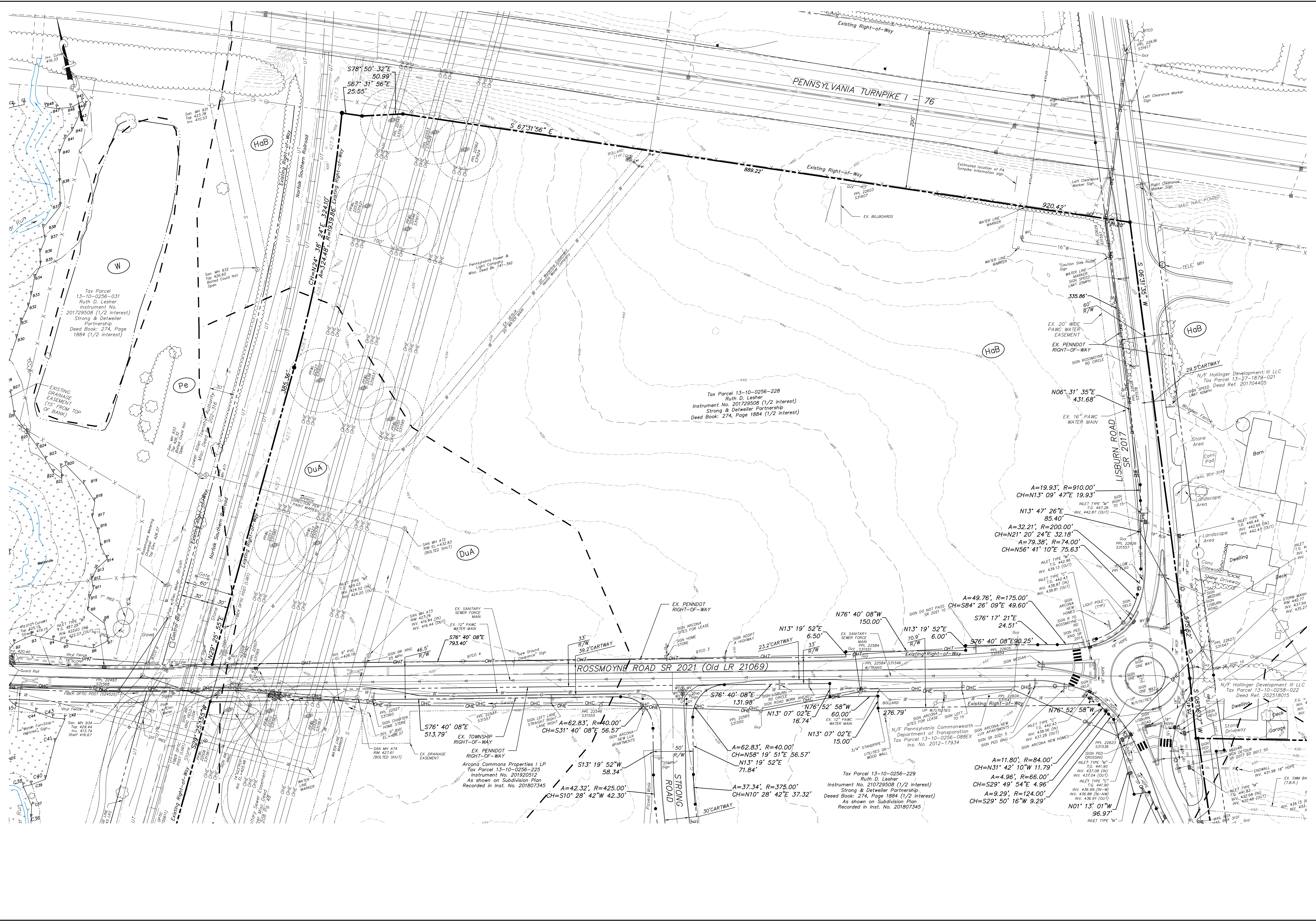
--- PROPERTY LINE	--- STORM INLET & PIPING	WV	WATER VALVE (MAIN)
--- RIGHT-OF-WAY LINE	--- ZONING LINE	CH	FIRE HYDRANT
--- EASEMENT LINE	--- MUNICIPALITY LINE	SO	GAS SHUT-OFF VALVE (SERVICE)
--- ROADWAY CENTERLINE	--- GUIDE RAIL	OV	GAS VALVE (MAIN)
--- CURB LINE	--- RAILROAD	SV	SEWER VENT
--- EDGE OF PAVEMENT	--- EDGE OF WATER (STREAM)	CO	SEWER CLEAN OUT
--- EDGE OF STONE	--- FLOODWAY	EO	ELECTRIC MANHOLE
--- MIN. BLDG SETBACK LINE	--- FLOODPLAIN	EM	STORM MANHOLE
--- SANITARY SEWER LINE	--- SOILS LINE	SM	SANITARY MANHOLE
--- SANITARY FORCE MAIN	--- TREELINE	TM	TELEPHONE MANHOLE
--- WATER LINE	DECIDUOUS TREE	TR	SIGN
--- GAS LINE	CONIFEROUS TREE	MB	MAIL BOX
--- OH	PROPERTY CORNER MARKER FOUND	DP	DEEP PROBE
--- OHC	PROPERTY CORNER	W-4	PERCOLATION TEST HOLE
--- OHE	UTILITY POLE	W-5	WETLANDS
--- UE	LIGHT POLE		SLOPES - 15%-24.9%
--- OHT	LIGHT		SLOPES - 25%+
--- UT	WELL		
--- X X	WATER SHUT-OFF VALVE (SERVICE)		
--- -560			
--- -558			
X.391.25			

**SOILS LIST**

Symbol	Description	K-Factor
BdB	Bedington shaly silt loam 3-8% Slope	0.17
BdC	Bedington shaly silt loam 8-15% Slope	0.17
BdD	Bedington shaly silt loam 15-25% Slope	0.17
DuA	Duffield silt loam, 0-3% Slope	0.32
EdB	Edom silty clay loam 3-8% Slope	0.20
HaB	Hagerstown silt loam 3-8% Slope	0.37
HaC	Hagerstown silt loam 8-15% Slope	0.37
HcD	Hagerstown silt loam, rocky, 8-15% Slope	0.37
Me *	Melvin silt loam	0.43
NeB	Neshaminy gravelly silt loam, 3-8% Slope	0.24
NeC	Neshaminy gravelly silt loam, 8-15% Slope	0.24
NhD	Neshaminy very stony silt loam, 8-25% Slope	0.24
Pe *	Penlawn silt loam	0.37
W	Water	n/a

\* HYDRIC SOILS ARE PRESENT ON ARCONA PHASE 7. DEPTH TO GROUNDWATER EXCEEDS 3'.

**WARNING:**  
GAS LINE MARKERS HAVE BEEN FOUND IN THE AREA OF ARCONA NEIGHBORHOOD 3, 4, & 5 AND ARE NOTED IN THIS PLAN SET. PLEASE CONFIRM LOCATION OF GAS LINE AND OTHER UNDERGROUND UTILITIES ON ARCONA PRIOR TO CONSTRUCTION ACTIVITIES AND EXERCISE EXTREME CAUTION WHEN EXCAVATING THE ARCONA SITE.



**ARCONA NEIGHBORHOOD 7**  
 Lower Allen Township - Cumberland County, PA  
 CHARTER HOMES & NEIGHBORHOODS

Drafting: **D TURNER**  
 Checked by:  
 Project Engineer: **G. MITCHELL KING PE, PLS**  
 Project Surveyor: **K POSTLETHWAIT**  
 Scale: **THOMAS K. PHILLIPS PLS 1"=50'**

Project Manager: **DAVID B. KEGERIZE PE**  
 Project Engineer: **G. MITCHELL KING PE, PLS**  
 Project Surveyor: **THOMAS K. PHILLIPS PLS**

313 W. Liberty St.,  
 Suite 241  
**TOWNE SQUARE**  
 ENGINEERING  
 Lancaster, PA 17603  
 Phone: (717) 283-4538  
 info@townesquareengineering.com

ARCONA NEIGHBORHOOD 3.1 - PARKING SUMMARY table with columns: PHASE, LOT / UNIT, UNIT TYPE, DESCRIPTION, # UNITS / S.F., REQUIRED, PROPOSED

ARCONA NEIGHBORHOOD 4 - PARKING SUMMARY table with columns: PHASE, LOT / UNIT, UNIT TYPE, DESCRIPTION, # UNITS, REQUIRED, PROPOSED

ARCONA NEIGHBORHOOD 5 - PROPOSED PARKING SUMMARY table with columns: PHASE, LOT / UNIT, UNIT TYPE, DESCRIPTION, # UNITS / S.F., REQUIRED, PROPOSED

ARCONA NEIGHBORHOOD 6 - PARKING SUMMARY table with columns: PHASE, LOT / UNIT, UNIT TYPE, DESCRIPTION, # UNITS / S.F., REQUIRED, PROPOSED

ARCONA NEIGHBORHOOD 7\* - PARKING SUMMARY table with columns: UNIT, BUILDING, UNIT TYPE, DESCRIPTION, S.F., REQUIRED, PROVIDED

CONVENIENCE STORE / BUILDING D - PARKING BREAKDOWN table with columns: Convenience Store, Description, S.F., Pumps, Spaces

TND Live-Work Units Calcs - (\$ 220-127.B.(2)) table with columns: Total Units, Live-Work Units, % SF Detached Units

Depth to Width Percentage of Dwelling Units - Arcona Neighbourhoods 3.1, 4, 5, 6, & 7\* table with columns: # of Residential Lots, # Wider than Deep, % 90% Deeper

OPEN SPACE / COMMON AREAS - Arcona Neighbourhoods 3, 4, 5, 6, & 7\* table with columns: Phase, Description, Area (s.f.), Area (Acres), Meets Common Open Space Req's.

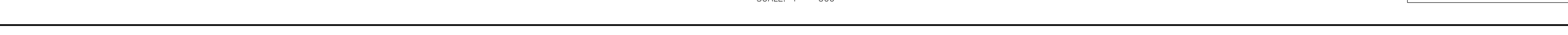
TND - COMMON OPEN SPACE IN STEEP SLOPES OR WOODLANDS (\$ 220-131.B) table with columns: Neighborhood, Description, Area of Steep Slopes (A), Area of Woodlands (B), Area of Overlap (C), Total (A+B+C), Area of Regrading, Percentage Regraded

Large summary table with columns: Description, Highpoint (rev.), Strong Road, Arcona Ph. 2.1 & 2.2 (Rev.), Arcona Ph. 2.3 (Rev.), Arcona Ph. 8.1 (Rev.), Arcona Ph. 8.2 (Rev.), Arcona Ph. 8.3, Arcona Ph. 9, Arcona Ph. 3.1, Arcona Ph. 4, Arcona Ph. 5, Arcona Ph. 6, Arcona Ph. 7\*, TND Totals to Date

Development Site and Open Space summary table with columns: Highpoint, Development Site, % Total, Rec. Lands, Common OS, Total OS Area, % Total, Village, % Total, Residential, % Total

NOTES: 1. SEE EA-1 FOR ALL PROPOSED EASEMENTS AND EXISTING EASEMENTS TO BE EXTINGUISHED. 2. PROPOSED CURB SHOW ON THIS PLAN IS TO BE STRAIGHT CONCRETE. 3. SEE SHEET LY-03 FOR STREET ADDRESSES (PENDING APPROVAL).

ARCONA - LIMIT OF CORE NEIGHBORHOOD

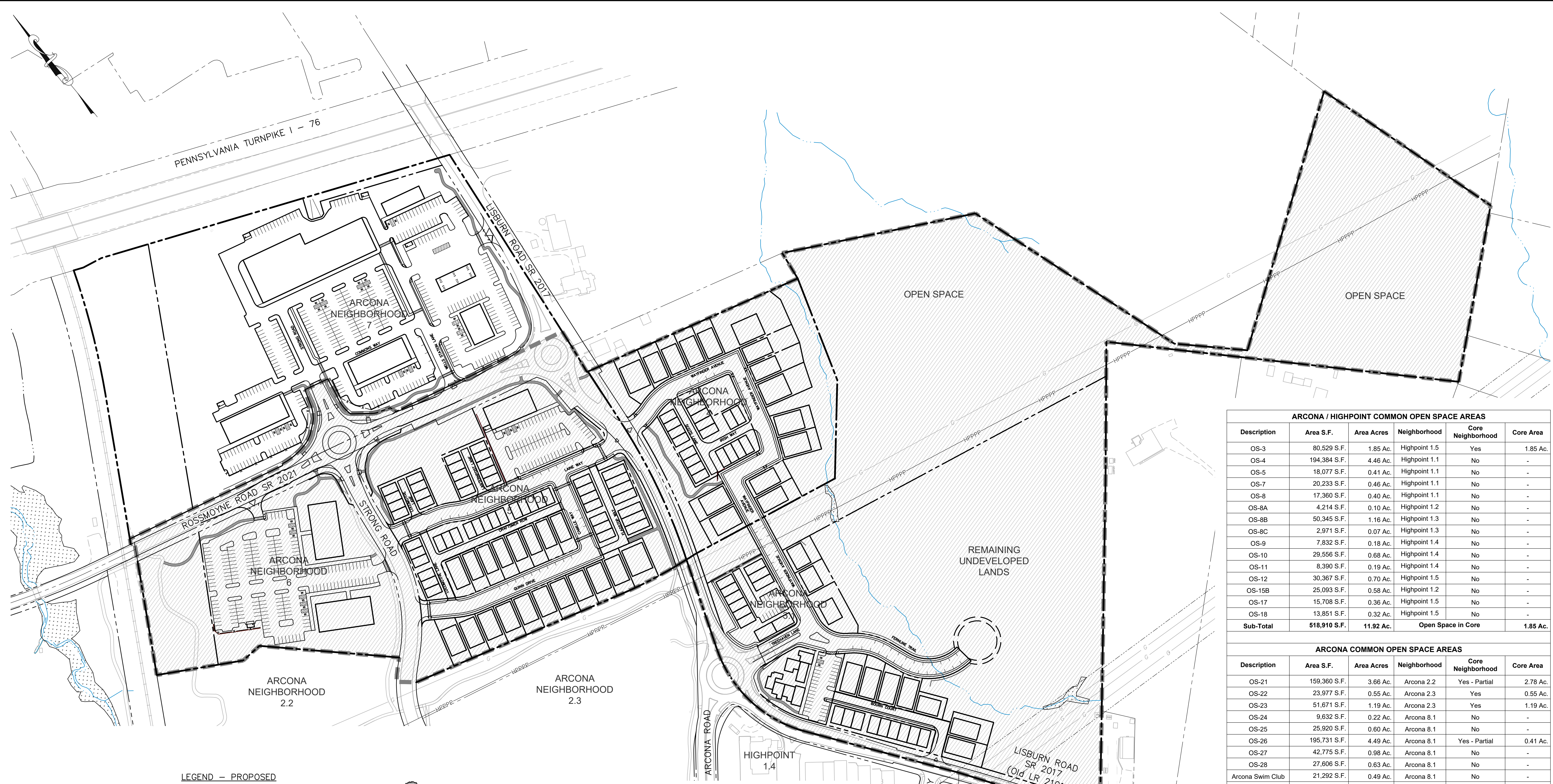
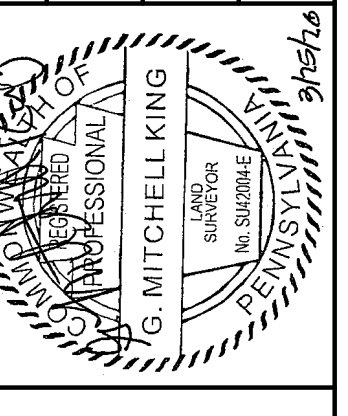


TND Non-Residential Uses (\$ 220-128.F.2.b) table with columns: Neighborhood, Current / Proposed # of Uses, # of Uses that Exceed 4,000 S.F.

TND SLOPE CALCULATIONS table with columns: Phase, 15-24.9% SLOPES (MAX 30% Disturbance), 25%+ SLOPES (MAX 15% Disturbance)

Arcona Neighbourhoods 3, 4, 5, 6, & 7 Unit Count table with columns: Unit Type, Phase 3.1, Phase 4, Phase 5, Phase 6, Phase 7\*, TOTAL

Arcona Neighbourhoods 3, 4, 5, 6, & 7 SQ. FT. of Commercial Space table with columns: Unit Type, SQ. FT. of Commercial Space



**LEGEND - PROPOSED**

PROPERTY LINE	---	DECIDUOUS TREE	(Symbol)
RIGHT-OF-WAY LINE	==	CONIFEROUS TREE	(Symbol)
EASEMENT LINE	---	CONC. MONUMENT SET	(Symbol)
ROADWAY CENTERLINE	==	PIN	(Symbol)
CURB LINE	---	ANGLE BREAK, PC/PT	(Symbol)
EDGE OF PAVEMENT	---	EASEMENT CORNER	(Symbol)
EDGE OF STONE	---	UTILITY POLE	(Symbol)
MIN. BLDG SETBACK LINE	---	LIGHT POLE	(Symbol)
SANITARY SEWER LINE	S	LIGHT	(Symbol)
SANITARY FORCE MAIN	→	WELL	(Symbol)
WATER LINE	W	WELL SHUT-OFF VALVE (SERVICE)	(Symbol)
GAS LINE	G	WATER VALVE (MAIN)	(Symbol)
OVERHEAD UTILITIES	OH	FIRE HYDRANT	(Symbol)
OVERHEAD ELECTRIC	OHE	GAS SHUT-OFF VALVE (SERVICE)	(Symbol)
UNDERGROUND ELECTRIC	UE	GAS VALVE (MAIN)	(Symbol)
OVERHEAD TELEPHONE	OHT	SEWER VENT	(Symbol)
UNDERGROUND TELEPHONE	UT	SEWER CLEAN OUT	(Symbol)
FENCE	X X X X	ELECTRIC MANHOLE	(Symbol)
INDEX CONTOUR	(Symbol)	STORM MANHOLE	(Symbol)
INTERMEDIATE CONTOUR	(Symbol)	SANITARY MANHOLE	(Symbol)
SPOT ELEVATION	x 392.15	TELEPHONE MANHOLE	(Symbol)
STORM INLET & PIPING	(Symbol)	SIGN	(Symbol)
GUIDE RAIL	(Symbol)		
PROPOSED PATH	(Symbol)		
TREELINE	(Symbol)		

**SIGHT DISTANCE ANALYSIS**  
 NOTE: THIS INFORMATION TAKE FROM A REPORT TITLED "CHARTER ARCONA - REMAINING BUILD-OUT TRANSPORTATION IMPACT STUDY" DATED 12/22/25, PREPARED BY TPD INC.

Lisburn Road (SR 2017) & Rock Way/Proposed (Phase 3.1) Driveway					
Exiting Movement	To the left	40 mph	-4	538	338 600+ <sup>2</sup>
Lisburn Road (SR 2017) & Arcona Road (SR 2015)/Proposed (Phase 3.1) Driveway					
Exiting Movement	To the left	25 mph	-1	250	151 250 <sup>1</sup>
Lisburn Road (SR 2017) & Proposed (Phase 4) Right-In Right-Out Driveway (Opposite Phase 5)					
Exiting Movement	To the left	25 mph	-3	250	151 300+
Lisburn Road (SR 2017) & Proposed (Phase 5) Right-In Right-Out Driveway (Opposite Phase 4)					
Exiting Movement	To the left	25 mph	+1	250	145 300+
Lisburn Road (SR 2017) & Proposed (Phase 7) Right-In Right-Out Driveway					
Exiting Movement	To the left	25 mph	-3	250	151 300+
Rossmoyne Road (SR 2021) & Proposed (Phase 7) Right-In Right-Out Driveway					
Exiting Movement	To the left	25 mph	-2	250	150 300+
Rossmoyne Road (SR 2021) & Strong Road/Proposed (Phase 7) Full Movement Driveway					
Exiting Movements	To the left	25 mph	-2	250	150 300+
	To the right	40 mph	+2	460	304 500+
Entering Movements	Approaching same direction	40 mph	+2	--	304 500+
	Approaching opposite direction	25 mph	-2	190	150 300+
Rossmoyne Road (SR 2021) & Proposed (Phase 6) Right-In Right-Out Driveway					
Exiting Movement	To the left	40 mph	-1	538	314 490

DES = PennDOT Desirable Sight Distance  
 SSSD = PennDOT Safe Stopping Sight Distance  
 EXIST = Existing (measured) Sight Distance  
 1 = Roadway Grade Approaching Driveway  
 2 = With The Removal Of Foliage  
 3 = Following Road Path Around Roundabout

**PHASING SCHEDULE**

NEIGHBORHOOD	ANTICIPATED CONSTRUCTION START DATE
3.1	2026
4	2027
5	2028
6	2029
7	2030

THIS PLAN PRESENTS A PRELIMINARY SUBDIVISION & LAND DEVELOPMENT PLAN, ARCONA NEIGHBORHOOD 7.

SEE " PRELIMINARY / FINAL SUBDIVISION & LAND DEVELOPMENT PLAN, ARCONA NEIGHBORHOODS 3, 4, 5, & 6."

**ARCONA / HIGHPOINT COMMON OPEN SPACE AREAS**

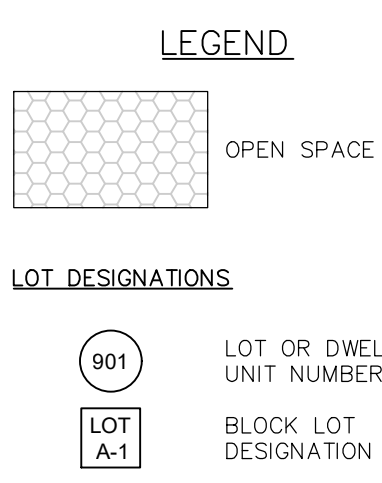
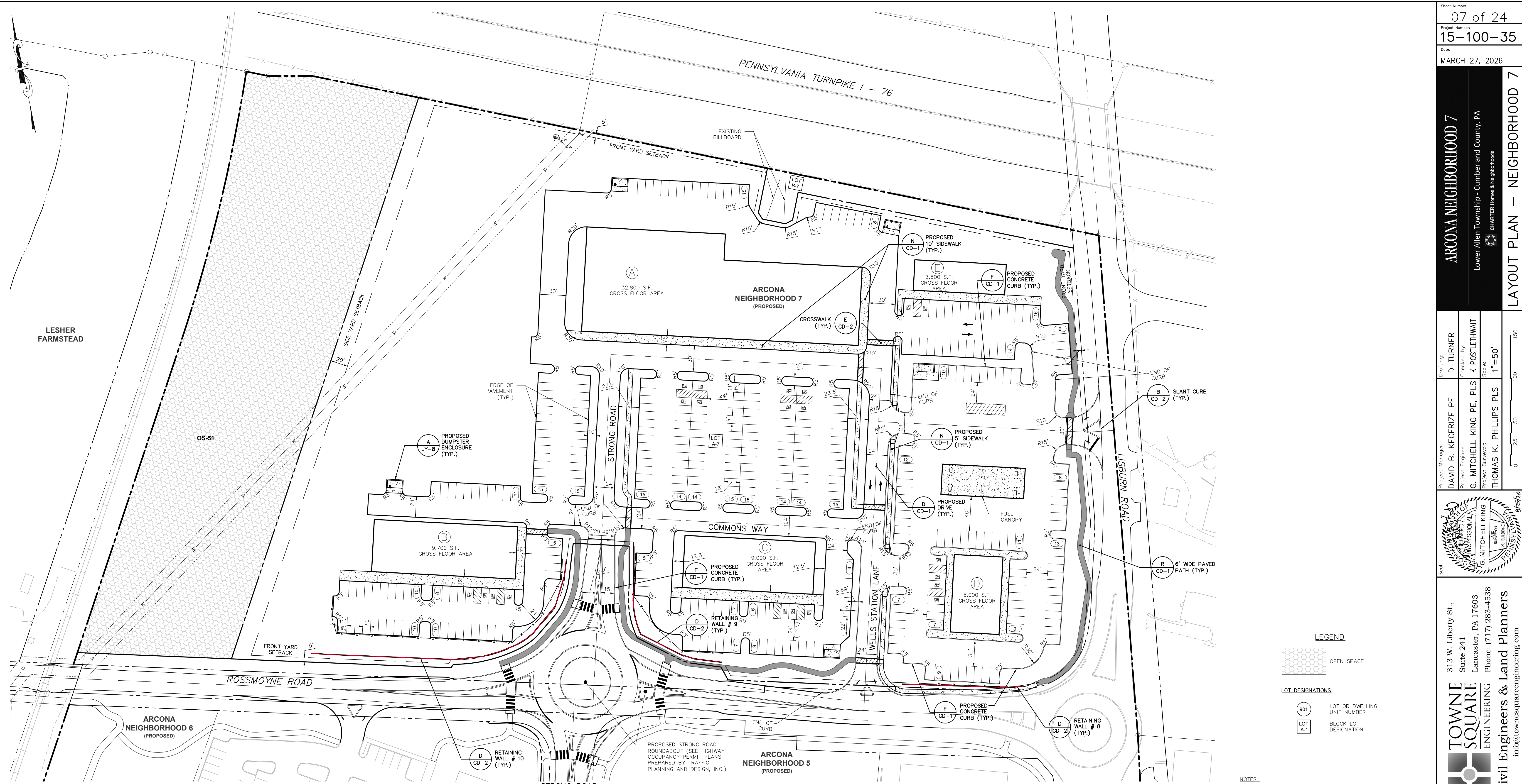
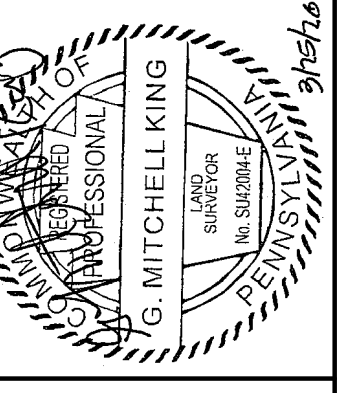
Description	Area S.F.	Area Acres	Neighborhood	Core Neighborhood	Core Area
OS-3	80,529 S.F.	1.85 Ac.	Highpoint 1.5	Yes	1.85 Ac.
OS-4	194,384 S.F.	4.46 Ac.	Highpoint 1.1	No	-
OS-5	18,077 S.F.	0.41 Ac.	Highpoint 1.1	No	-
OS-7	20,233 S.F.	0.46 Ac.	Highpoint 1.1	No	-
OS-8	17,360 S.F.	0.40 Ac.	Highpoint 1.1	No	-
OS-8A	4,214 S.F.	0.10 Ac.	Highpoint 1.2	No	-
OS-8B	50,345 S.F.	1.16 Ac.	Highpoint 1.3	No	-
OS-8C	2,971 S.F.	0.07 Ac.	Highpoint 1.3	No	-
OS-9	7,832 S.F.	0.18 Ac.	Highpoint 1.4	No	-
OS-10	29,556 S.F.	0.68 Ac.	Highpoint 1.4	No	-
OS-11	8,390 S.F.	0.19 Ac.	Highpoint 1.4	No	-
OS-12	30,367 S.F.	0.70 Ac.	Highpoint 1.5	No	-
OS-15B	25,093 S.F.	0.58 Ac.	Highpoint 1.2	No	-
OS-17	15,708 S.F.	0.36 Ac.	Highpoint 1.5	No	-
OS-18	13,851 S.F.	0.32 Ac.	Highpoint 1.5	No	-
<b>Sub-Total</b>	<b>518,910 S.F.</b>	<b>11.92 Ac.</b>		<b>Open Space in Core</b>	<b>1.85 Ac.</b>

**ARCONA COMMON OPEN SPACE AREAS**

Description	Area S.F.	Area Acres	Neighborhood	Core Neighborhood	Core Area
OS-21	159,360 S.F.	3.66 Ac.	Arcona 2.2	Yes - Partial	2.78 Ac.
OS-22	23,977 S.F.	0.55 Ac.	Arcona 2.3	Yes	0.55 Ac.
OS-23	51,671 S.F.	1.19 Ac.	Arcona 2.3	Yes	1.19 Ac.
OS-24	9,632 S.F.	0.22 Ac.	Arcona 8.1	No	-
OS-25	25,920 S.F.	0.60 Ac.	Arcona 8.1	No	-
OS-26	195,731 S.F.	4.49 Ac.	Arcona 8.1	Yes - Partial	0.41 Ac.
OS-27	42,775 S.F.	0.98 Ac.	Arcona 8.1	No	-
OS-28	27,606 S.F.	0.63 Ac.	Arcona 8.1	No	-
Arcona Swim Club	21,292 S.F.	0.49 Ac.	Arcona 8.1	No	-
OS-29	10,979 S.F.	0.25 Ac.	Arcona 8.2	No	-
OS-30	7,280 S.F.	0.17 Ac.	Arcona 8.2	No	-
OS-31	19,099 S.F.	0.44 Ac.	Arcona 8.2	No	-
OS-33	83,251 S.F.	1.91 Ac.	Arcona 8.2	No	-
OS-34	28,232 S.F.	0.65 Ac.	Arcona 8.3	No	-
OS-35	86,658 S.F.	1.99 Ac.	Arcona 8.3	No	-
OS-36	37,478 S.F.	0.86 Ac.	Arcona 9	Yes	0.86 Ac.
OS-37	14,612 S.F.	0.34 Ac.	Arcona 9	Yes	0.34 Ac.
OS-40	706,188 S.F.	16.21 Ac.	Arcona 3	Yes - Partial	0.45 Ac.
OS-41	11,996 S.F.	0.28 Ac.	Arcona 3	Yes	0.28 Ac.
OS-42	16,920 S.F.	0.39 Ac.	Arcona 4	Yes	0.39 Ac.
OS-43	9,885 S.F.	0.23 Ac.	Arcona 4	Yes	0.23 Ac.
OS-44	40,070 S.F.	0.92 Ac.	Arcona 4	Yes	0.92 Ac.
OS-45	6,746 S.F.	0.15 Ac.	Arcona 4	Yes	0.15 Ac.
OS-46	11,548 S.F.	0.27 Ac.	Arcona 5	Yes	0.27 Ac.
OS-48	7,931 S.F.	0.18 Ac.	Arcona 5	Yes	0.18 Ac.
OS-49	36,620 S.F.	0.84 Ac.	Arcona 5	Yes	0.84 Ac.
OS-50	50,818 S.F.	1.17 Ac.	Arcona 6	Yes	1.17 Ac.
OS-51	120,620 S.F.	2.77 Ac.	Arcona 7	Yes	2.77 Ac.
OS-52	1,124 S.F.	0.03 Ac.	Arcona 5	Yes	0.03 Ac.
<b>Sub-Total</b>	<b>1,866,018 S.F.</b>	<b>42.86 Ac.</b>		<b>Open Space in Core</b>	<b>13.81 Ac.</b>

**PERCENTAGE OF OPEN SPACE AREAS IN CORE NEIGHBORHOOD**

Description	Area S.F.	Area Acres	% In Core	Core Area
<b>Total</b>	<b>2,384,928 S.F.</b>	<b>54.78 Ac.</b>	<b>28.6%</b>	<b>15.66 Ac.</b>



- NOTES:**
- SEE EA-1 FOR ALL PROPOSED EASEMENTS AND EXISTING EASEMENTS TO BE EXTINGUISHED.
  - PROPOSED CURBS SHOWN ON THIS PLAN IS TO BE BELGIAN BLOCK.
  - BUILDINGS WILL HAVE INDIVIDUAL REFUSE PICKUP.
  - SEE SHEET PL-1 FOR LOT AREAS, BEARINGS AND DISTANCES.
  - EACH PARKING SPACE ADJACENT TO A LANDSCAPE ISLAND AT THE END OF A PARKING ROW SHOULD INCLUDE AN ADDITIONAL TWO FEET TO ALLOW ACCESS TO THE VEHICLE.
  - PER ZONING SECTION (§ 220-128.F.2.a) NO SINGLE OCCUPANT OR BUSINESS SHALL EXCEED 10,000 SQUARE FEET IN GROSS FLOOR AREA PER FLOOR. ADDITIONAL DETAIL FOR BUILDING A WILL BE INCLUDED WITH FINAL PLAN.
  - PER ZONING SECTION (§ 220-187) THE NOISE REQUIREMENTS WILL BE INCLUDED WITH FINAL PLAN.
  - PER ZONING SECTION (§ 220-240) THE DRIVE-THROUGH STACKING REQUIREMENTS WILL BE INCLUDED WITH FINAL PLAN.
  - PER ZONING SECTION (§ 220-243) THE LOADING SPACE REQUIREMENTS WILL BE INCLUDED WITH FINAL PLAN.
  - ADDITIONAL PARKING BREAKDOWN PER BUILDING WILL BE PROVIDED WITH FINAL PLAN.
  - A SITE CIRCULATION PLAN IS SHOWN ON SHEET TM-2.

This plan is a preliminary subdivision and land development plan for existing Arcona Neighborhood Lot 7. This plan does not propose, and shall not be considered to be, a final subdivision and land development plan for Arcona Neighborhood Lot 7. Arcona Neighborhood Lot 7 is intended to be developed for nonresidential uses and a final plan(s) shall be required to be submitted and approved for each such building that is proposed on this lot. Each such plan shall include, among other requirements specified in the Subdivision and Land Development Ordinance, (1) lighting plans that depict the type, number, height and location of each exterior lighting fixture and demonstrate compliance with the lighting standards under applicable Township ordinances, (2) parking lot configurations depicting the required minimum number of parking spaces for the proposed uses as specified in the Zoning Ordinance, and (3) the anticipated hours of operation for each such use. To the extent that any building depicted on any such final plan for Arcona Neighborhood Lot 7 deviates from the building depicted on this preliminary plan, then the Developer shall be required to submit a revised preliminary plan for Arcona Neighborhood Lot 7 as part of the submission of a final plan for such lot.

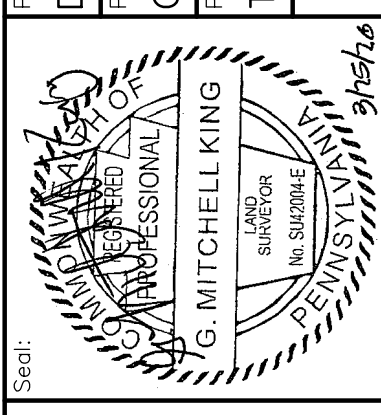
**ARCONA NEIGHBORHOOD 7\* - PARKING SUMMARY**

UNIT	BUILDING	UNIT TYPE	DESCRIPTION *	S.F.	REQUIRED **	PROVIDED
Shopping Center (Neighborhood)	Buildings A, B, C, & E	Commercial / Retail	5 PER 1,000 S.F.	55,000 S.F.	274	297
Convenience Store	Building D	Convenience / Food / Fuel	(See Below)	5,000 S.F.	78	86
<b>Total Parking Spaces Required =</b>					<b>352</b>	<b>383</b>
** 1 Per 250 S.F. for the 1st 1,000 S.F., plus 5 Per 1,000 S.F. for associated uses.						
CONVENIENCE STORE / BUILDING D - PARKING BREAKDOWN						
Convenience Store	1 Space per every 150 S.F. of GFA			3,412 S.F.	23	
Fast Food Restaurant	1 Space per Every 30 S.F. of GFA			1,588 S.F.	53	
Fuel Sales	1 Space per 3 Gasoline Pumps			6 Pumps	2	
<b>Total Parking Spaces Required =</b>					<b>78</b>	

**ARCONA NEIGHBORHOOD 7 - Accessible Space Parking Summary**

DESCRIPTION	BUILDING	TOTAL # SPACES	ADA ACCESSIBLE SPACES	
			REQUIRED	PROPOSED
Parking Lot - A-7	A	169 (Spaces)	6	8
Parking Lot - A-7	B	54 (Spaces)	3	4
Parking Lot - A-7	C	38 (Spaces)	2	3
Parking Lot - A-7	D	86 (Spaces)	4	4
Parking Lot - A-7	E	36 (Spaces)	2	2
<b>383</b>			<b>17</b>	<b>21</b>

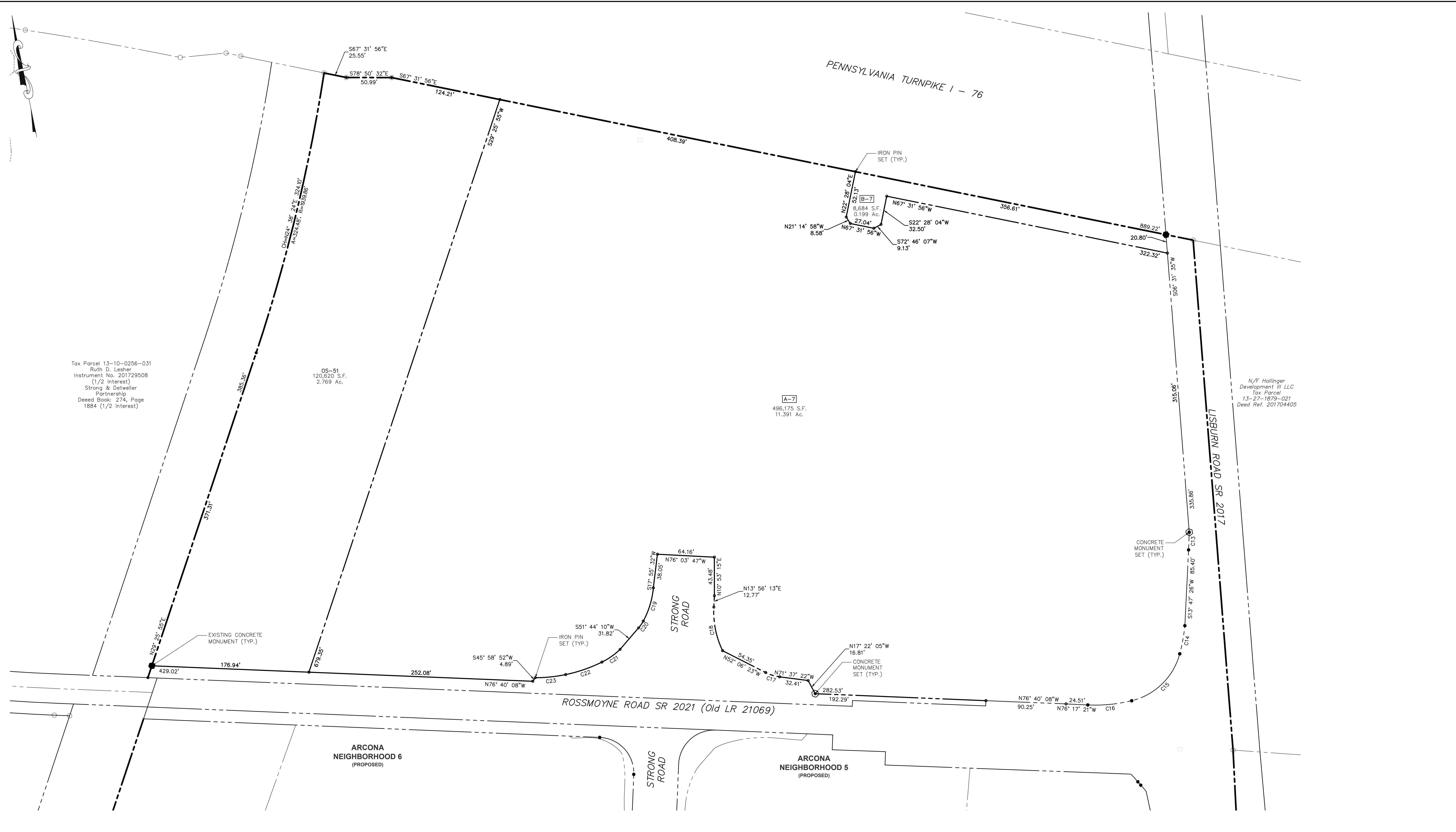
LOT #	Approved Address	Phase No.
A-7	???? Strong Road Mechanicsburg PA 17055	7



313 W. Liberty St.,  
Suite 241  
Lancaster, PA 17603  
Phone: (717) 283-4538  
info@townsquareengineering.com

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NO.	DATE	REVISIONS



Tax Parcel 13-10-0256-031  
Ruth D. Leshner  
Instrument No. 201729508  
(1/2 interest)  
Strong & Detweiler  
Partnership  
Deed Book: 274, Page  
1884 (1/2 interest)

OS-51  
120,620 S.F.  
2.769 Ac.

A-7  
496,175 S.F.  
11.391 Ac.

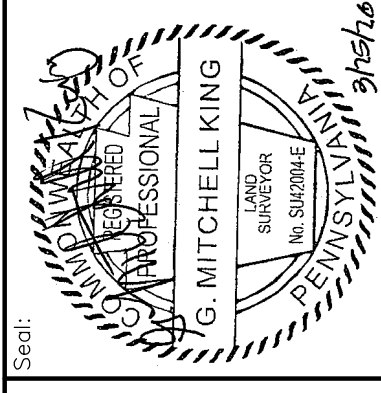
N/F Hollinger  
Development II LLC  
Tax Parcel  
13-27-1879-021  
Deed Ref. 201704405

RIGHT-OF-WAY CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD
C13	910.00'	19.93'	S 13°09'47" W 19.93'
C14	200.00'	32.21'	S 21°20'24" W 32.18'
C15	74.00'	79.38'	S 56°41'10" W 75.63'
C16	175.00'	49.76'	N 84°26'09" W 49.60'
C17	48.33'	16.46'	N 61°51'53" W 16.38'
C18	101.33'	50.54'	N 0°21'08" W 50.02'
C19	98.34'	39.36'	S 27°51'24" W 39.10'
C20	43.33'	9.38'	S 45°31'54" W 9.37'
C21	83.33'	25.05'	S 66°00'29" W 24.96'
C22	169.16'	43.33'	S 81°56'48" W 43.21'
C23	169.33'	34.44'	N 84°53'46" W 34.38'

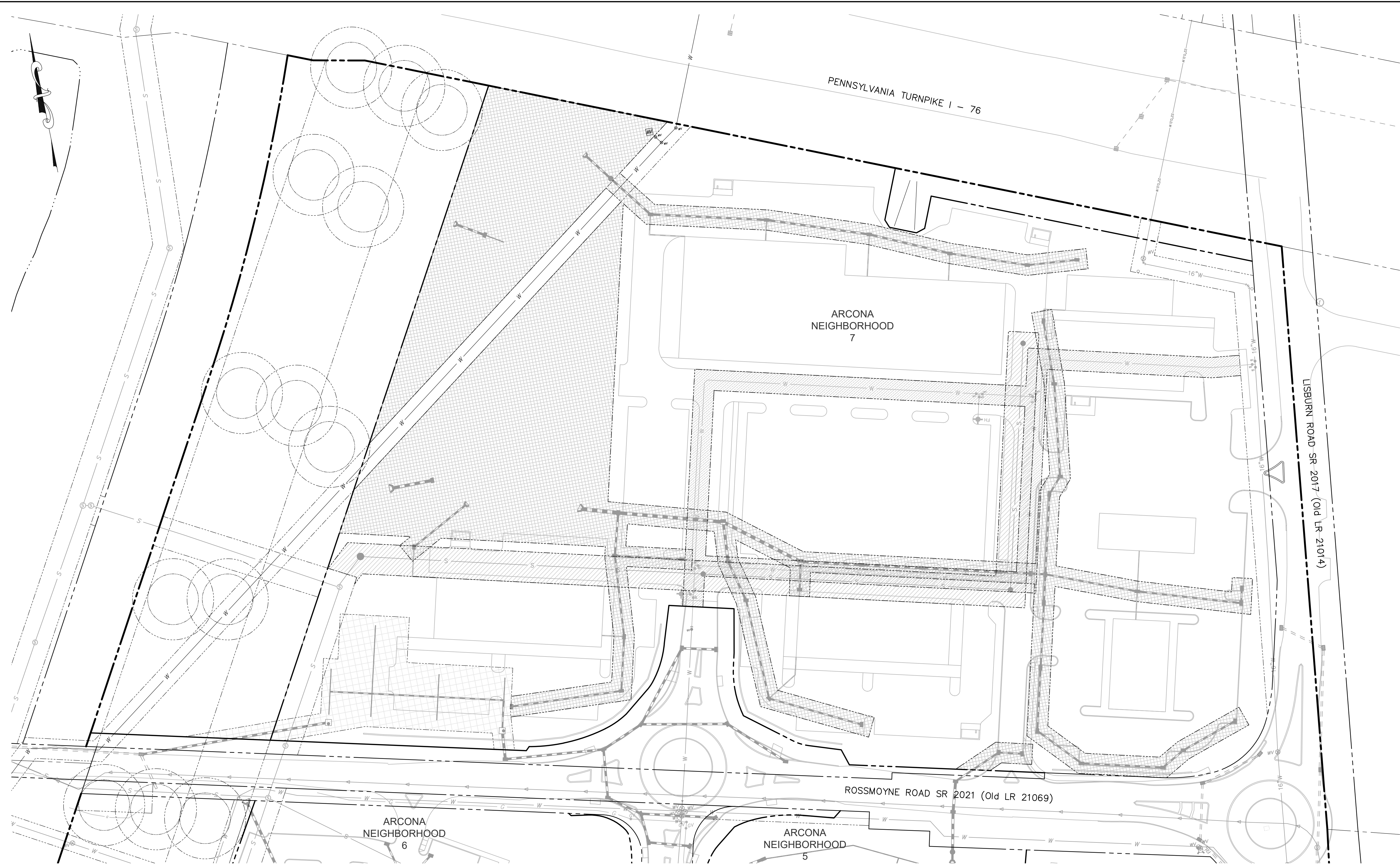
**ARCONA NEIGHBORHOOD 7**  
Lower Allen Township - Cumberland County, PA  
CHARTER HOMES & NEIGHBORHOODS  
**EASEMENT PLAN - OVERALL**

Project Manager: DAVID B. KEGERIZE PE  
Project Engineer: G. MITCHELL KING PE, PLS  
Project Surveyor: THOMAS K. PHILLIPS PLS  
Drafting: D TURNER  
Checked by: K POSTLETHWAIT  
Scale: 1"=60'



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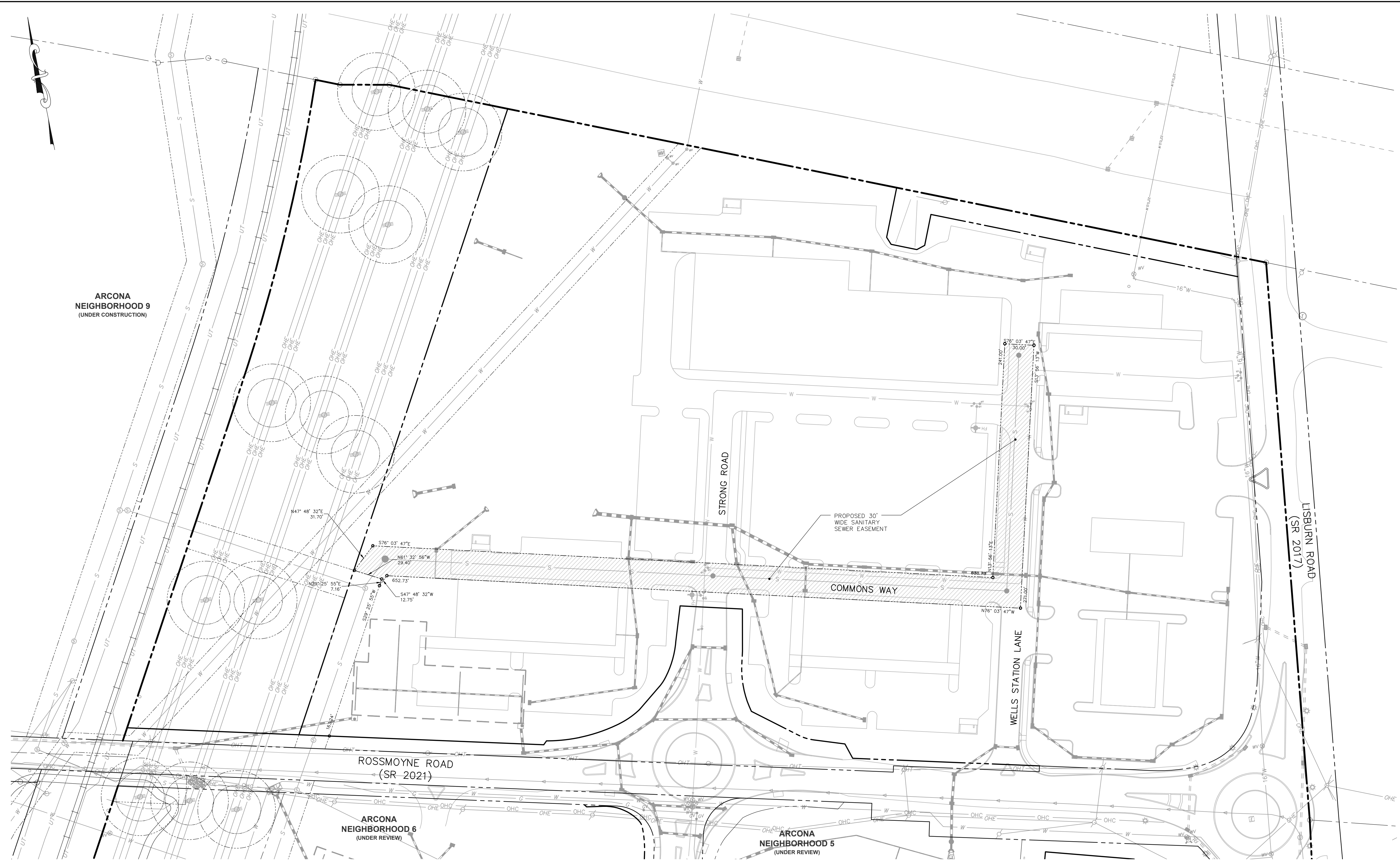
NO.	REVISIONS	DATE



**NOTES:**  
1. EXISTING UTILITY AND UNDERGROUND PIPELINE EASEMENTS ARE SHOWN ON THE EA SHEETS.  
2. SEE EA-2 THRU EA-4 FOR EASEMENT DETAILS AND TABLES.

**EASEMENT LEGEND**

- EXISTING STORMWATER MANAGEMENT / DRAINAGE EASEMENT
- PROPOSED STORMWATER MANAGEMENT / DRAINAGE EASEMENT
- EXISTING SANITARY SEWER EASEMENT
- PROPOSED SANITARY SEWER EASEMENT
- PROPOSED WATERLINE EASEMENT
- EXISTING COMBINED UTILITY AND ACCESS EASEMENT
- PROPOSED COMBINED UTILITY AND ACCESS EASEMENT
- EXISTING SNOW EASEMENT
- PROPOSED SNOW EASEMENT
- PROPOSED CONSERVATION EASEMENT
- RIPARIAN BUFFER
- EXISTING EASEMENTS (OTHER)
- EASEMENTS TO BE EXTINGUISHED



ARCONA NEIGHBORHOOD 9  
(UNDER CONSTRUCTION)

ARCONA NEIGHBORHOOD 6  
(UNDER REVIEW)

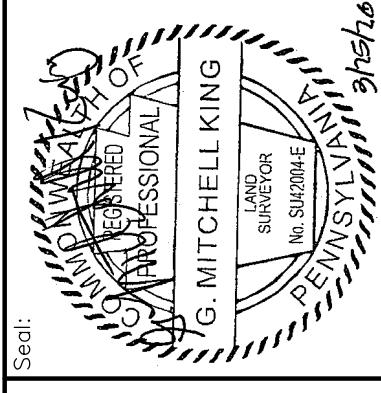
ARCONA NEIGHBORHOOD 5  
(UNDER REVIEW)

**EASEMENT LEGEND**

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- PROPOSED STORMWATER MANAGEMENT / DRAINAGE EASEMENT
- EXISTING SANITARY SEWER EASEMENT
- PROPOSED SANITARY SEWER EASEMENT
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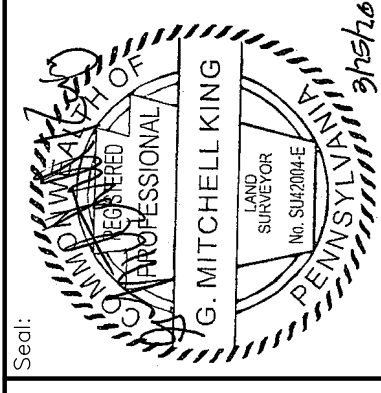
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Project Manager: <b>DAVID B. KEGERIZE PE</b>	Drafting: <b>D TURNER</b>
Project Engineer: <b>G. MITCHELL KING PE, PLS</b>	Checked by: <b>K POSTLETHWAIT</b>
Project Surveyor: <b>THOMAS K. PHILLIPS PLS</b>	Scale: <b>1" = 50'</b>



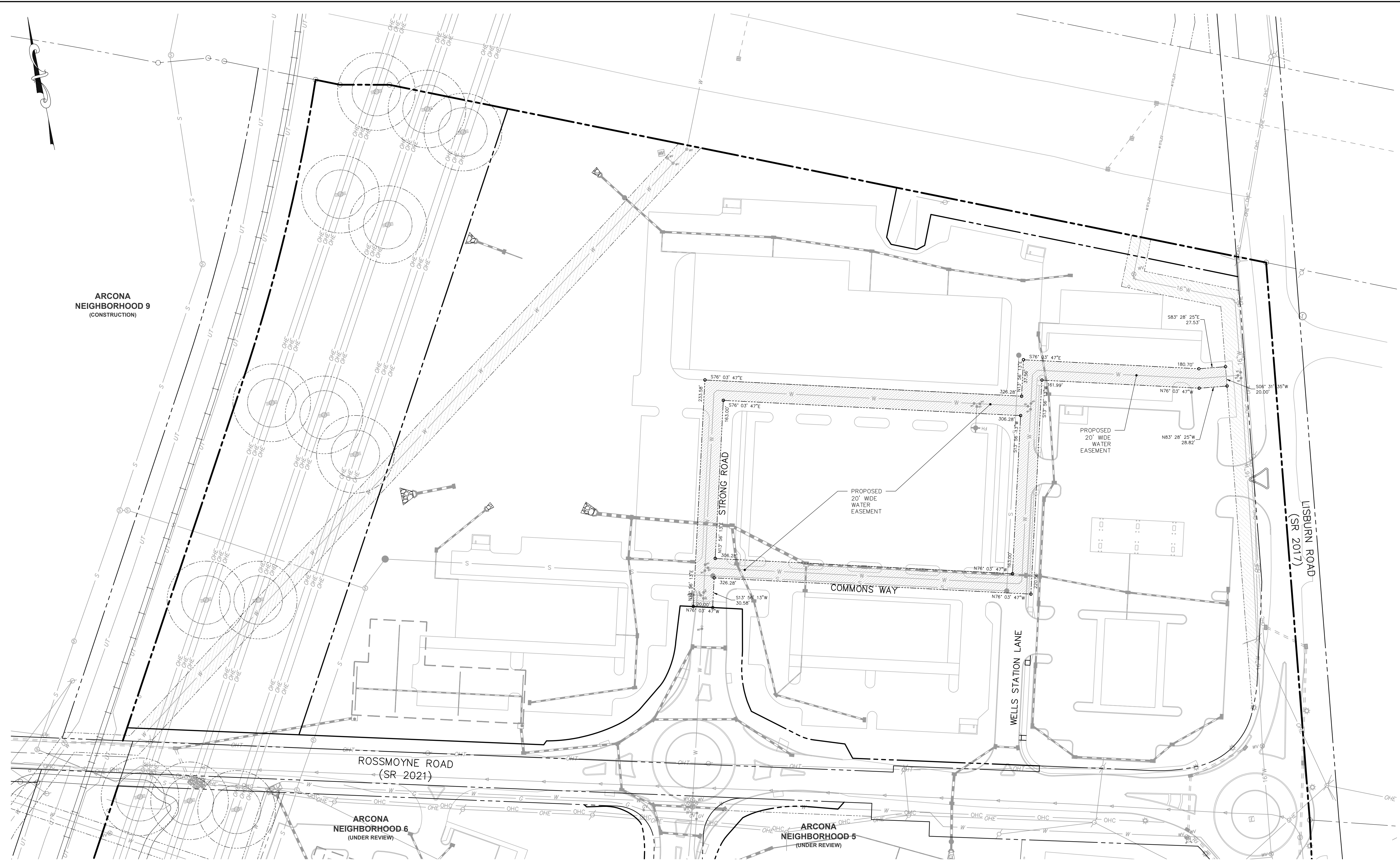
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**TOWNE SQUARE ENGINEERING**  
Civil Engineers & Land Planners  
info@townesquareengineering.com

NO.	REVISIONS	DATE



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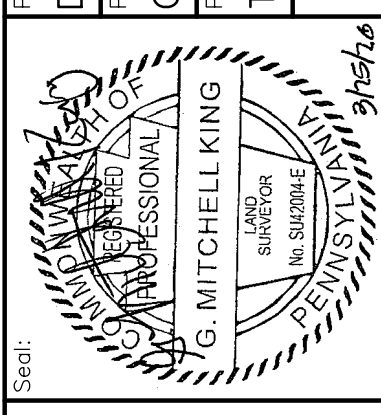
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ARCONA NEIGHBORHOOD 9  
(CONSTRUCTION)

ARCONA NEIGHBORHOOD 6  
(UNDER REVIEW)

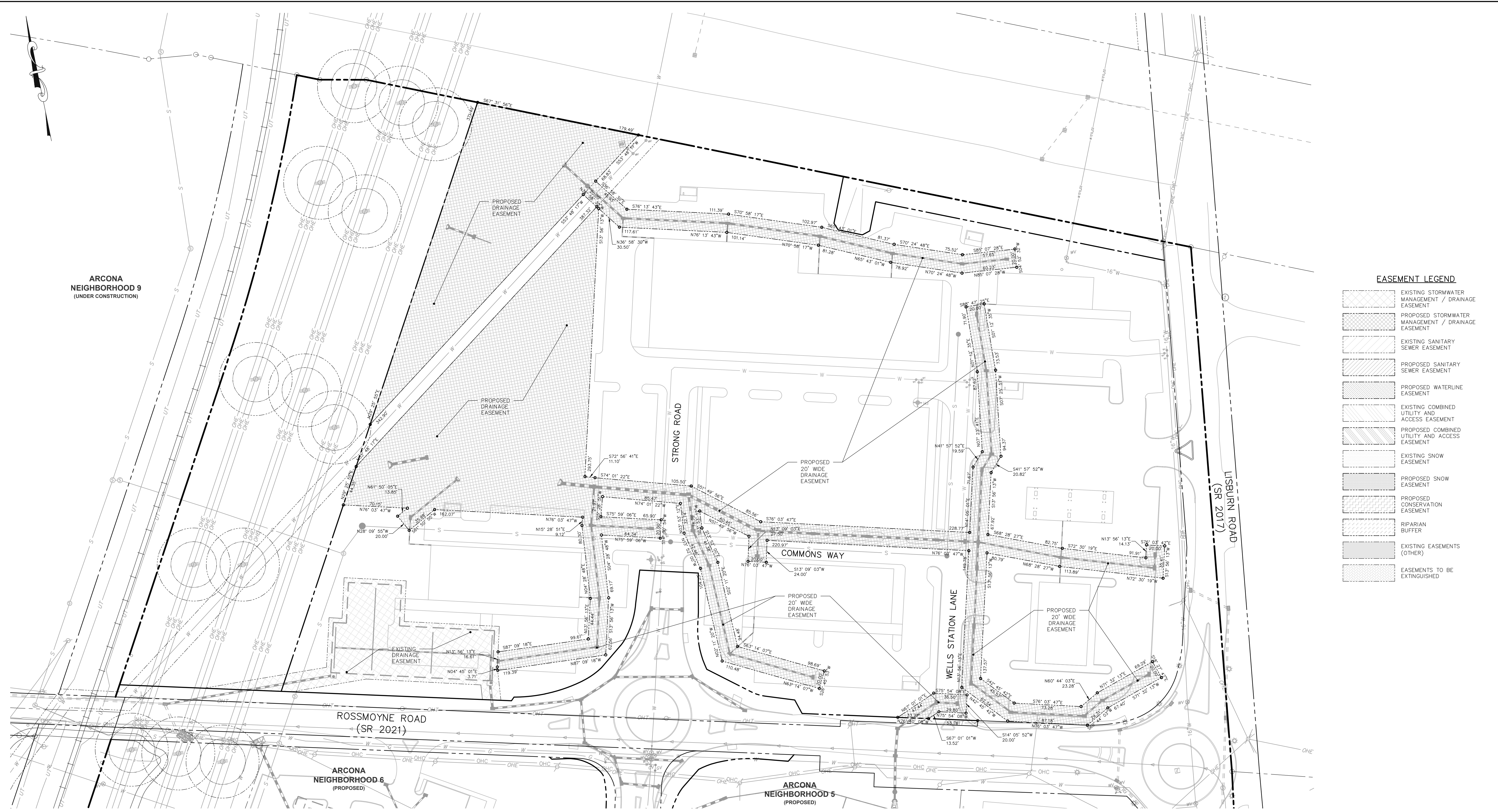
ARCONA NEIGHBORHOOD 5  
(UNDER REVIEW)



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**EASEMENT LEGEND**

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- PROPOSED STORMWATER MANAGEMENT / DRAINAGE EASEMENT
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ARCONA NEIGHBORHOOD 9  
(UNDER CONSTRUCTION)

ROSSMOYNE ROAD  
(SR 2021)

ARCONA NEIGHBORHOOD 6  
(PROPOSED)

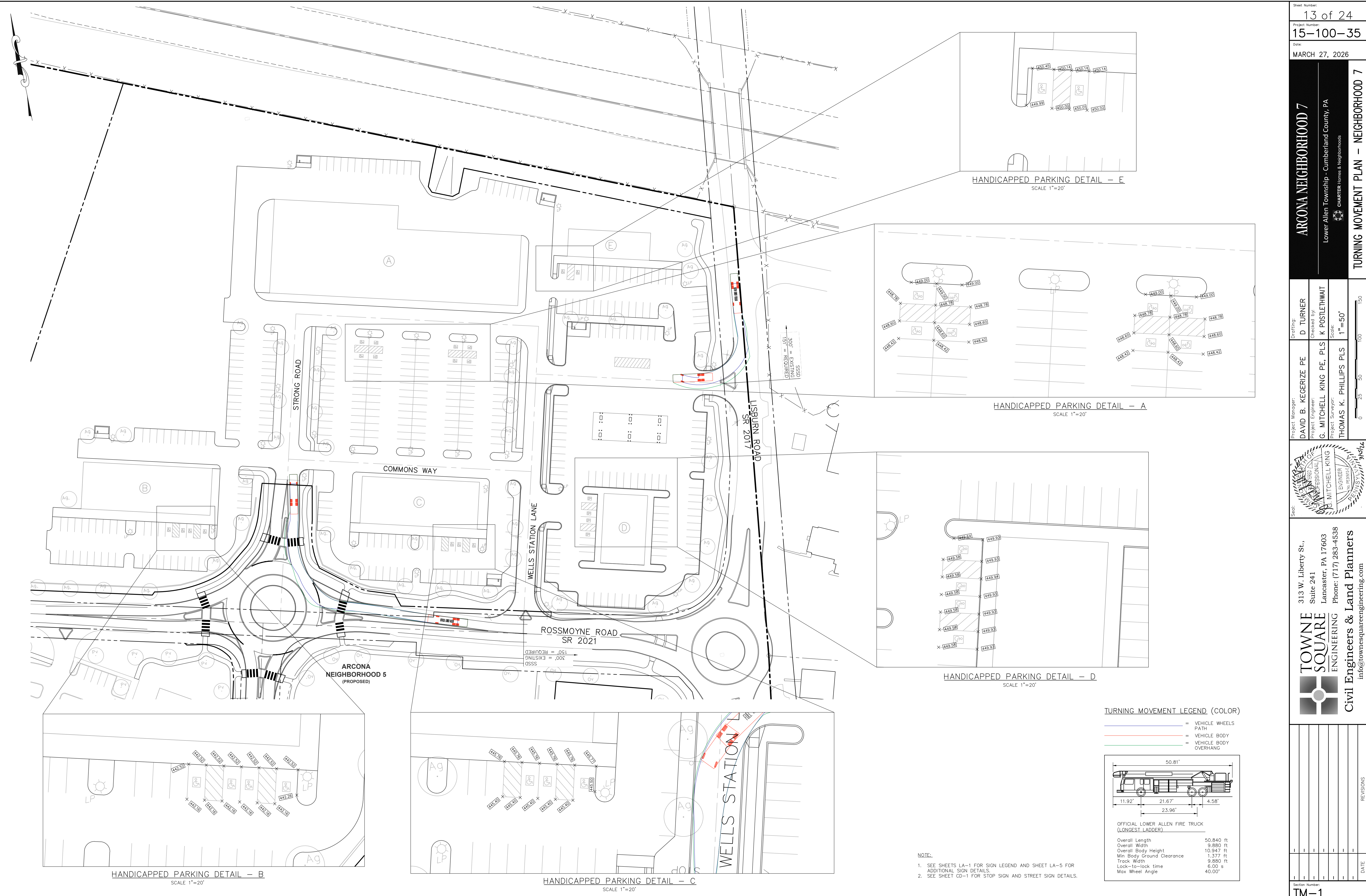
ARCONA NEIGHBORHOOD 5  
(PROPOSED)

STRONG ROAD

COMMONS WAY

WELLS STATION LANE

LISBURN ROAD  
(SR 2017)



Project Manager:  
DAVID B. KEGERIZE PE

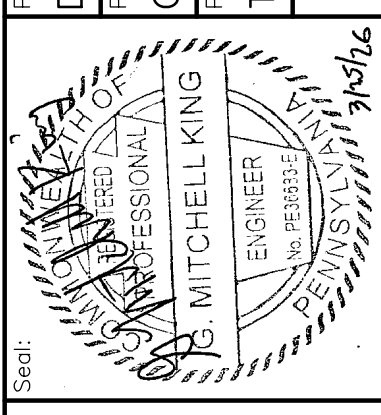
Project Engineer:  
G. MITCHELL KING PE, PLS  
THOMAS K. PHILLIPS PLS

Project Surveyor:  
THOMAS K. PHILLIPS PLS

Scale:  
1"=50'

Scale:  
1"=20'

Scale:  
1"=50'



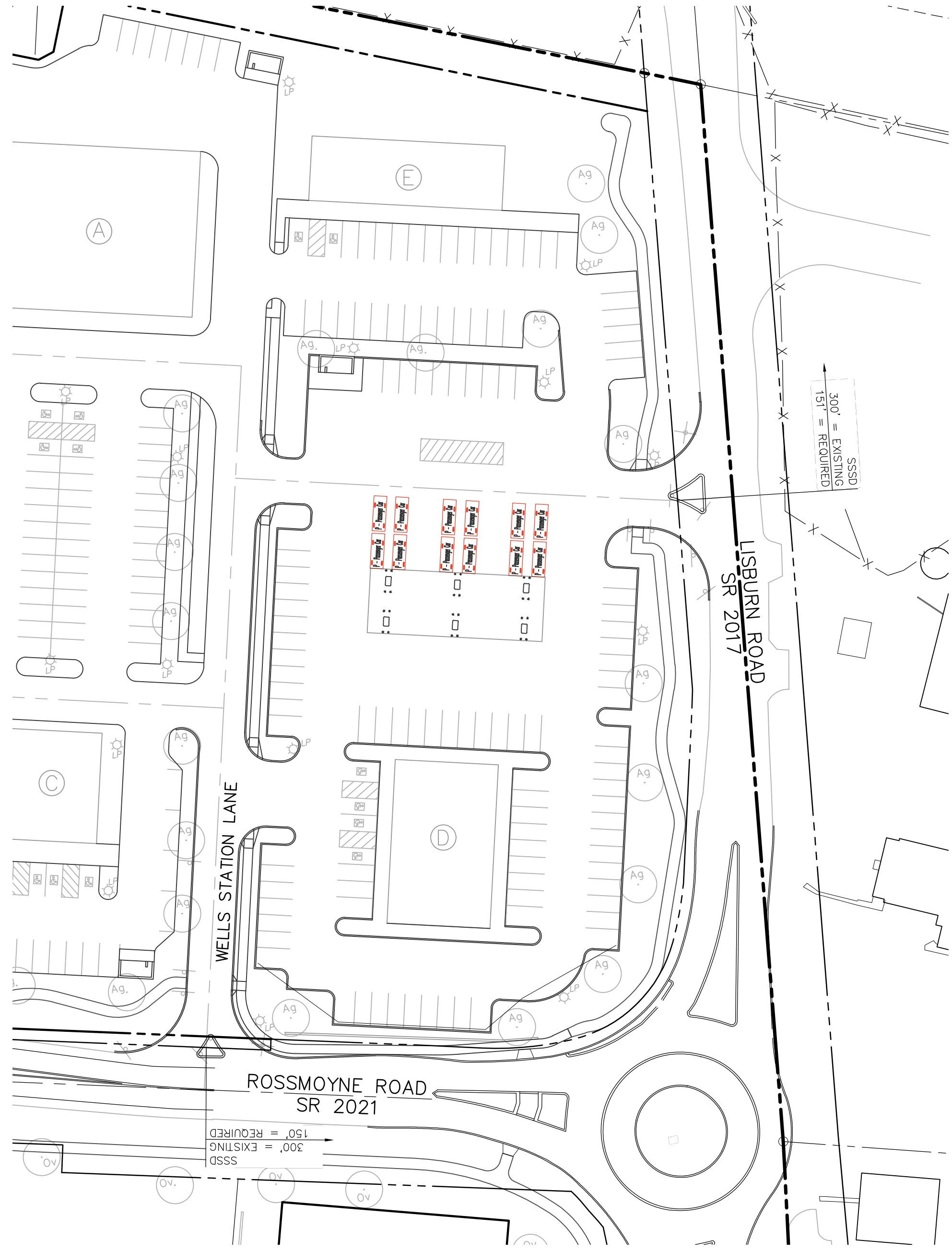
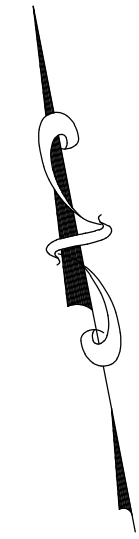
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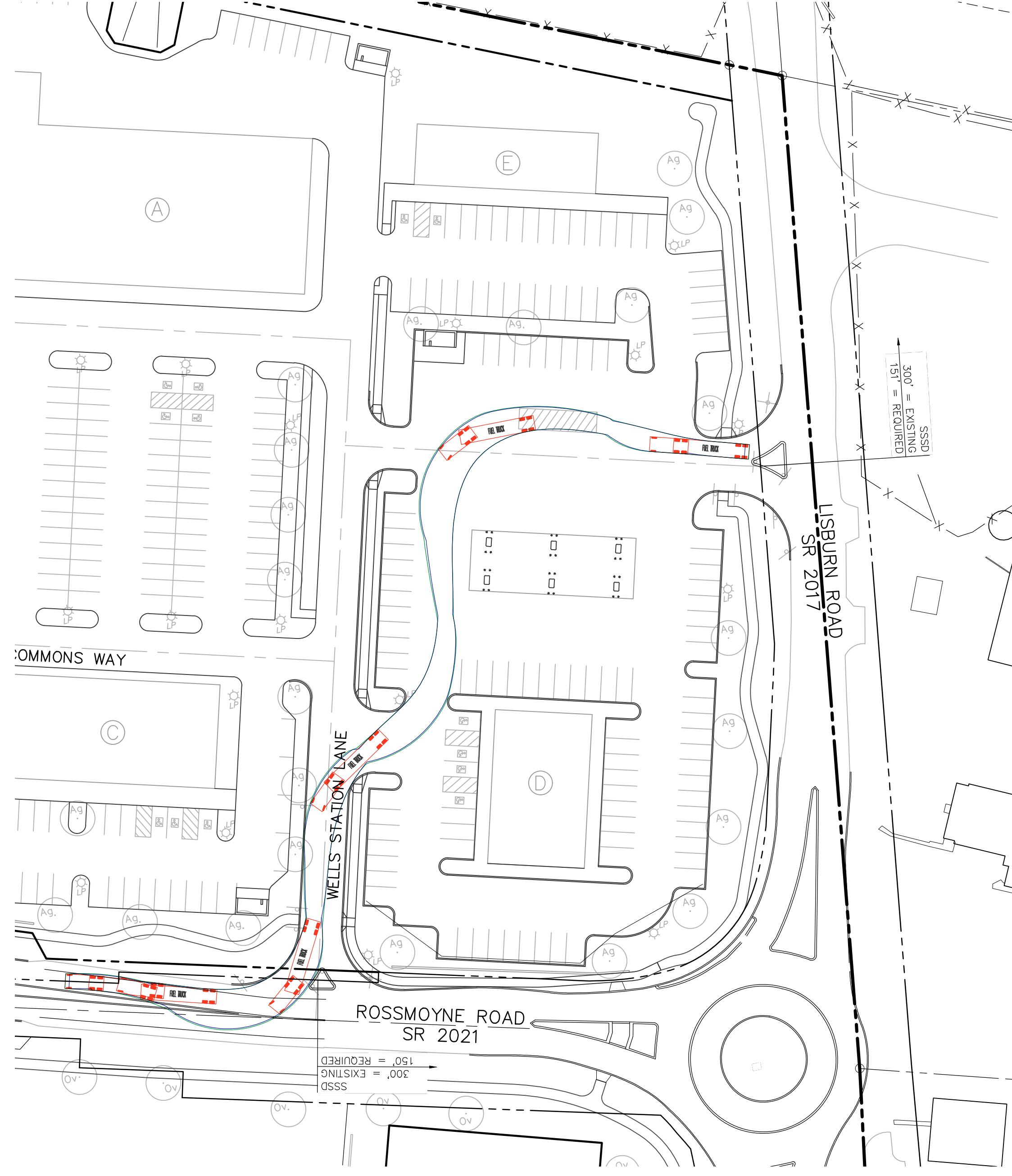
NO.	DATE	REVISIONS

Section Number:  
TM-1

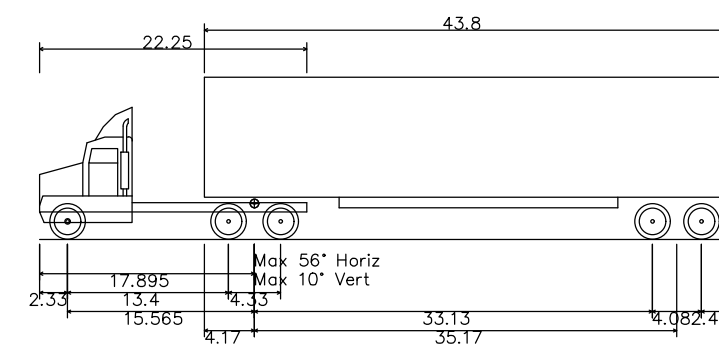
DATE



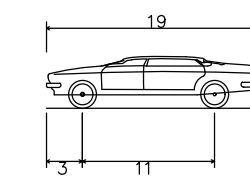
FUEL PUMP STACKING EXHIBIT



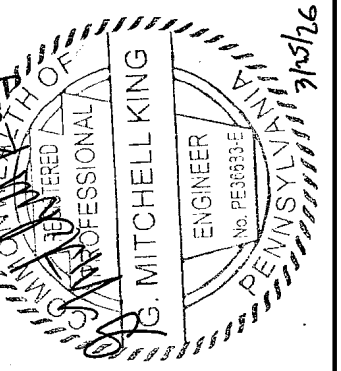
FUEL TRUCK CIRCULATION EXHIBIT



FUEL TRUCK  
 Overall Length 57.524ft  
 Overall Width 8.500ft  
 Overall Body Height 13.500ft  
 Min Body Ground Clearance 1.422ft  
 Track Width 8.500ft  
 Lock-to-lock time 5.00s  
 Max Steering Angle (Virtual) 17.96°



P - Passenger Car  
 Overall Length 19.000ft  
 Overall Width 7.000ft  
 Overall Body Height 4.300ft  
 Min Body Ground Clearance 1.115ft  
 Track Width 6.000ft  
 Lock-to-lock time 4.00s  
 Curb to Curb Turning Radius 23.800ft



**TOWNE SQUARE ENGINEERING**  
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 313 W. Liberty St., Suite 241  
 Lancaster, PA 17603  
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NO.	DATE	REVISIONS

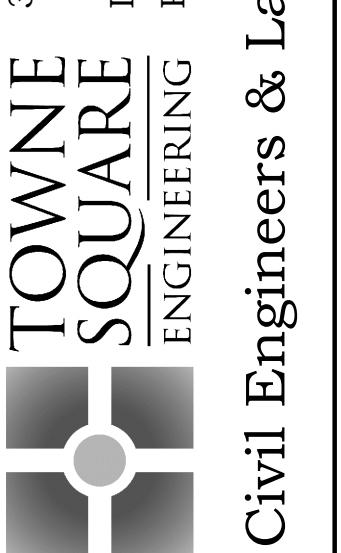
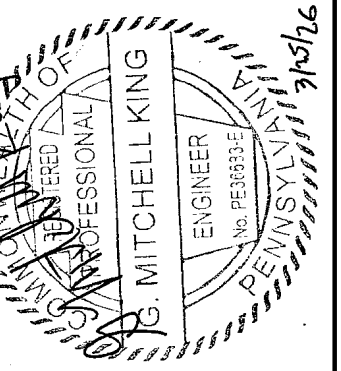
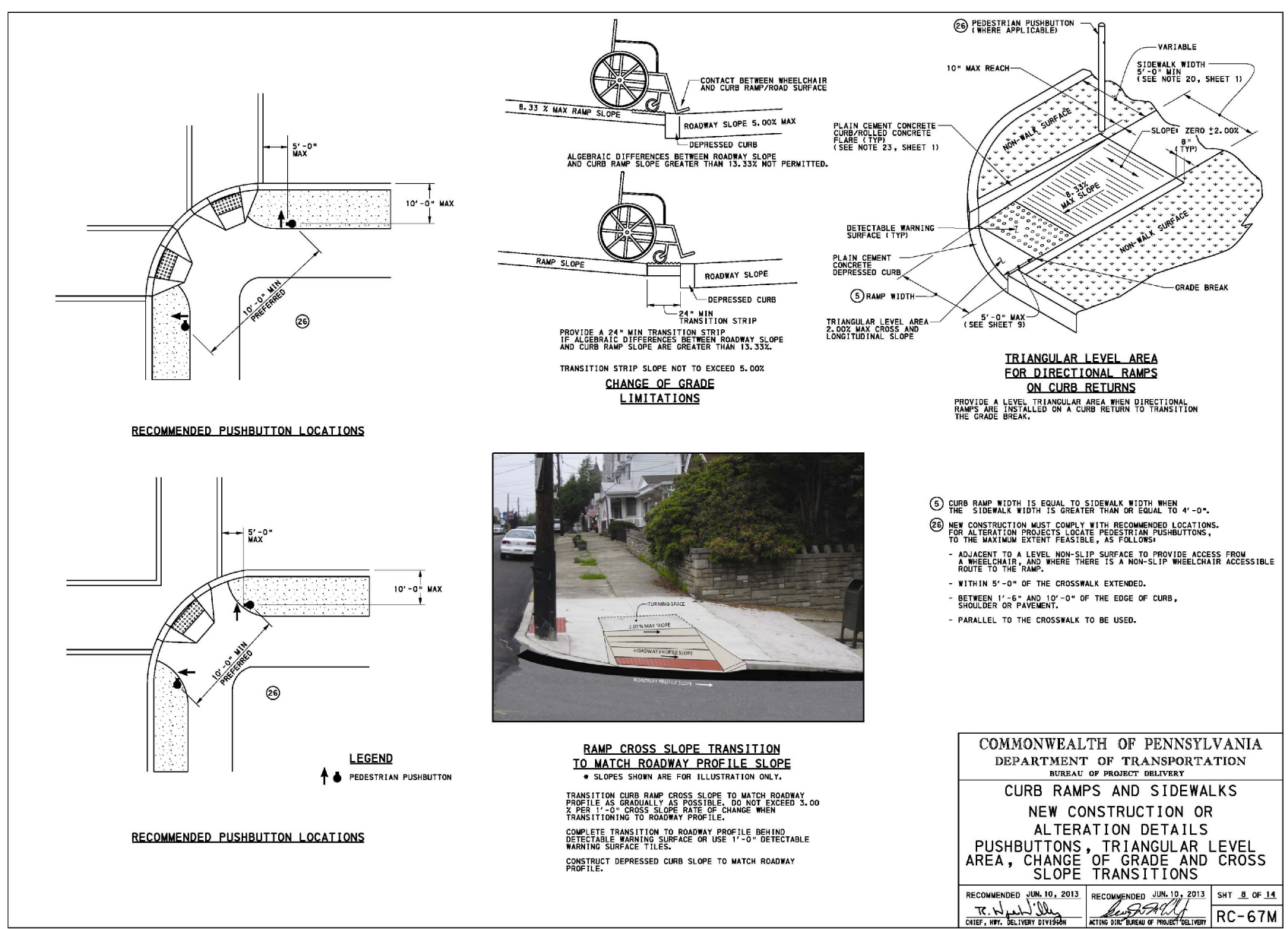
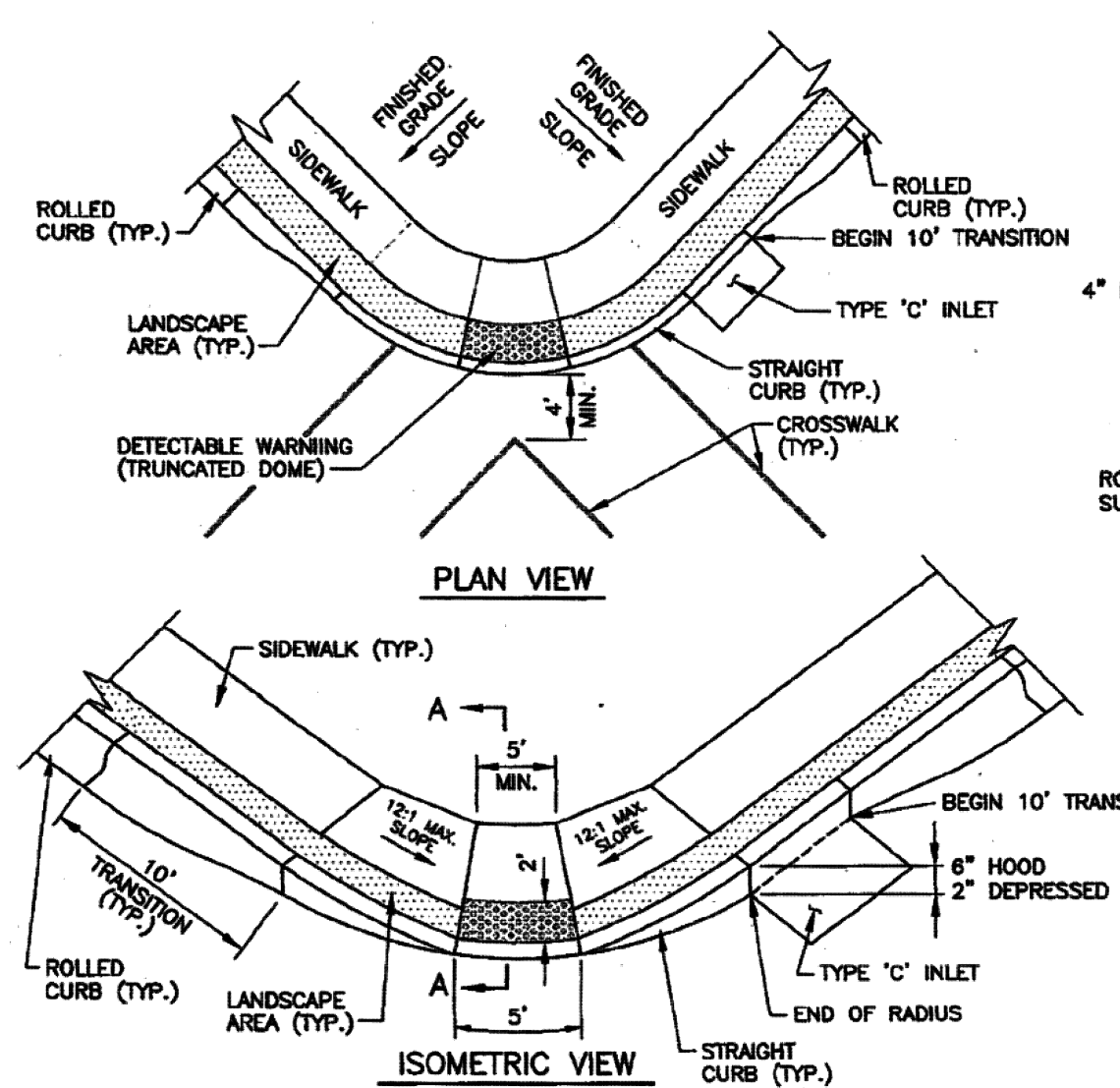


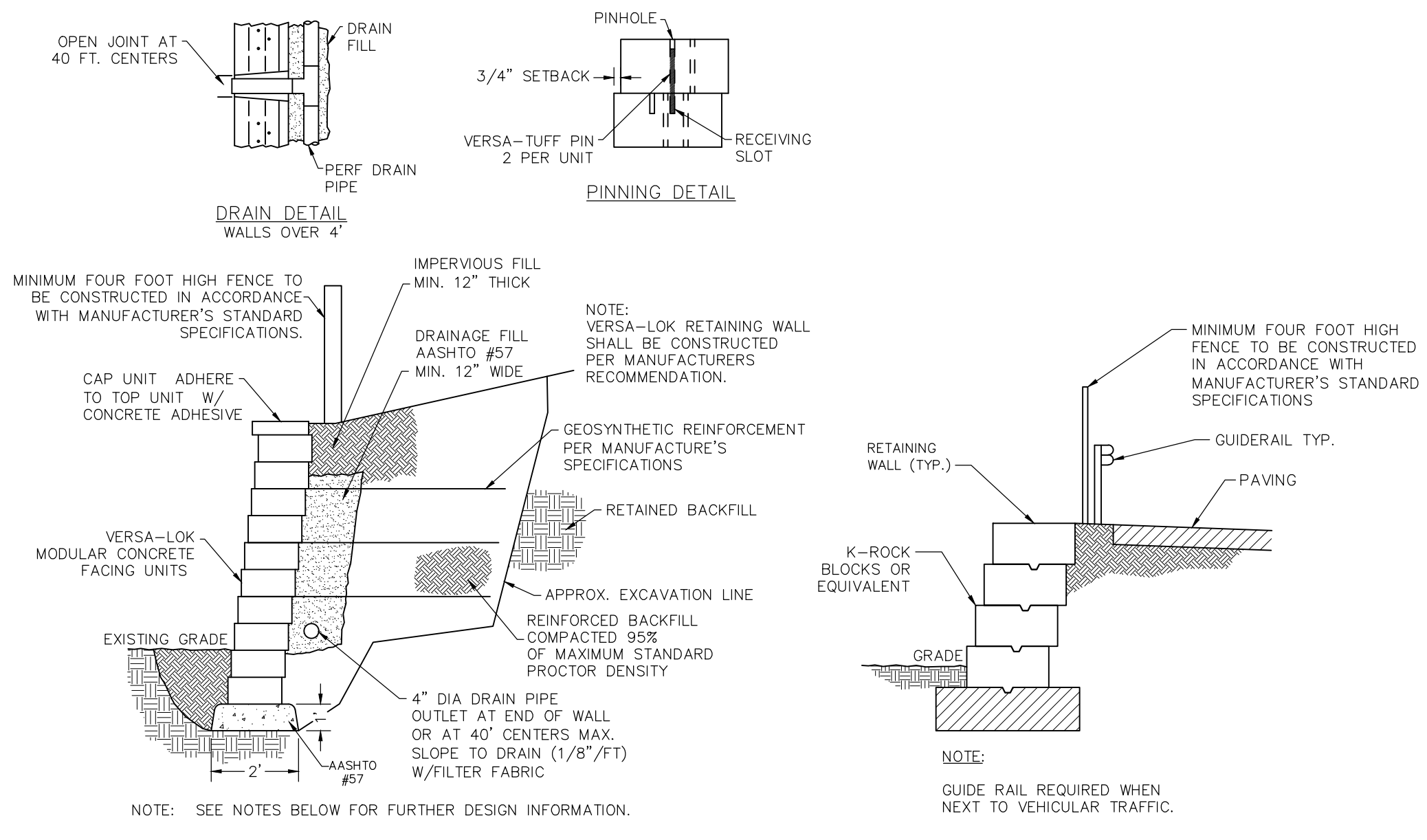
Table with 3 columns: REVISIONS, DATE, and other details.



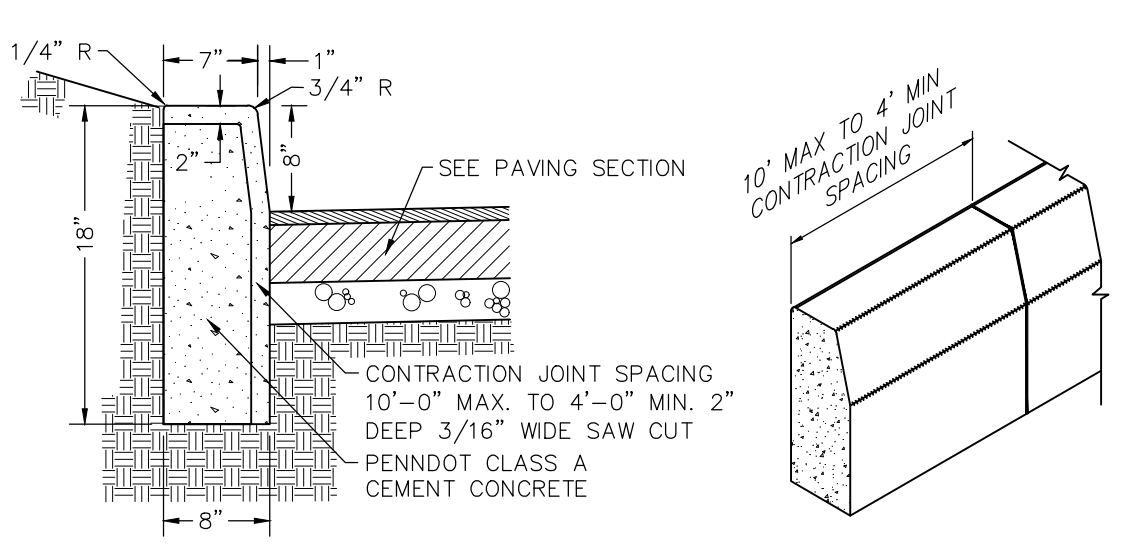
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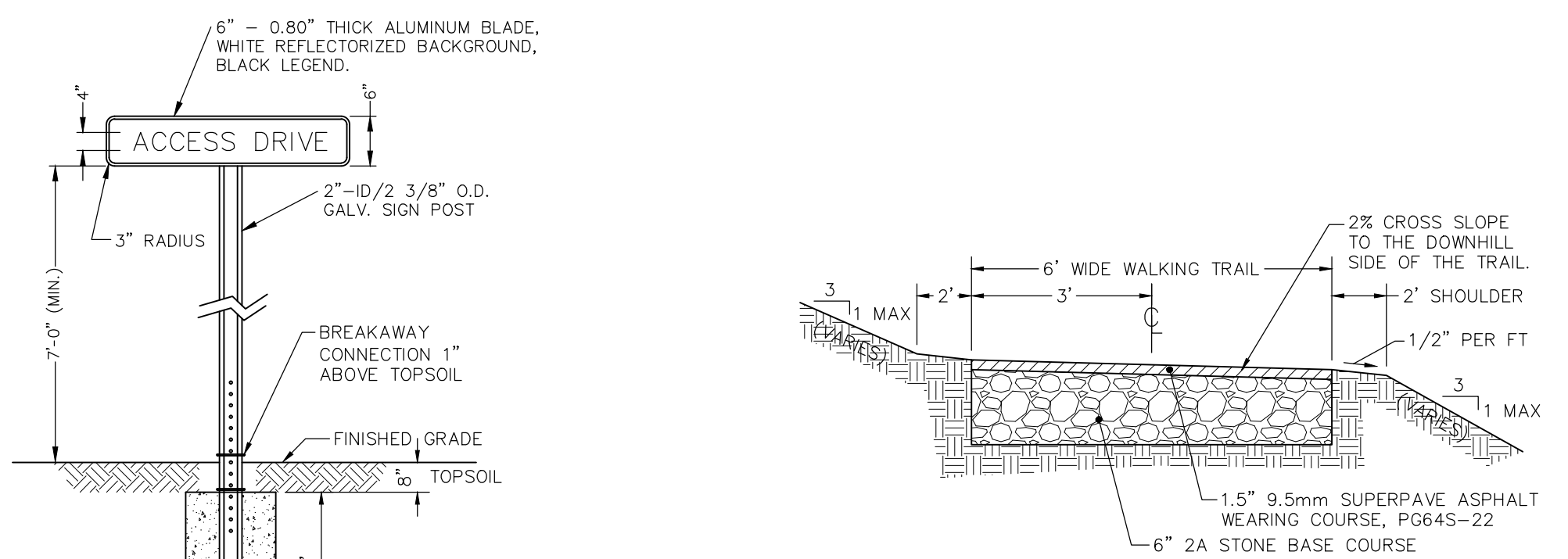
B CURB RAMP DETAILS NOT TO SCALE



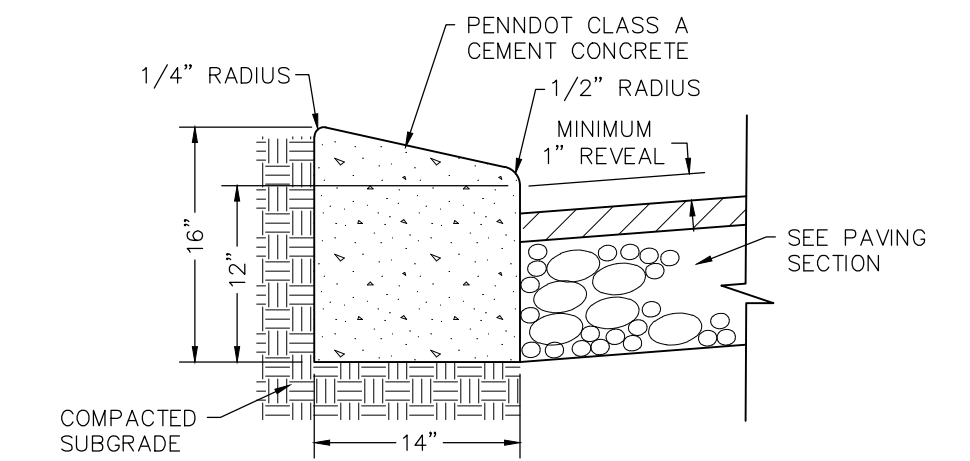
C RETAINING WALL DETAILS (TYPICAL) NOT TO SCALE



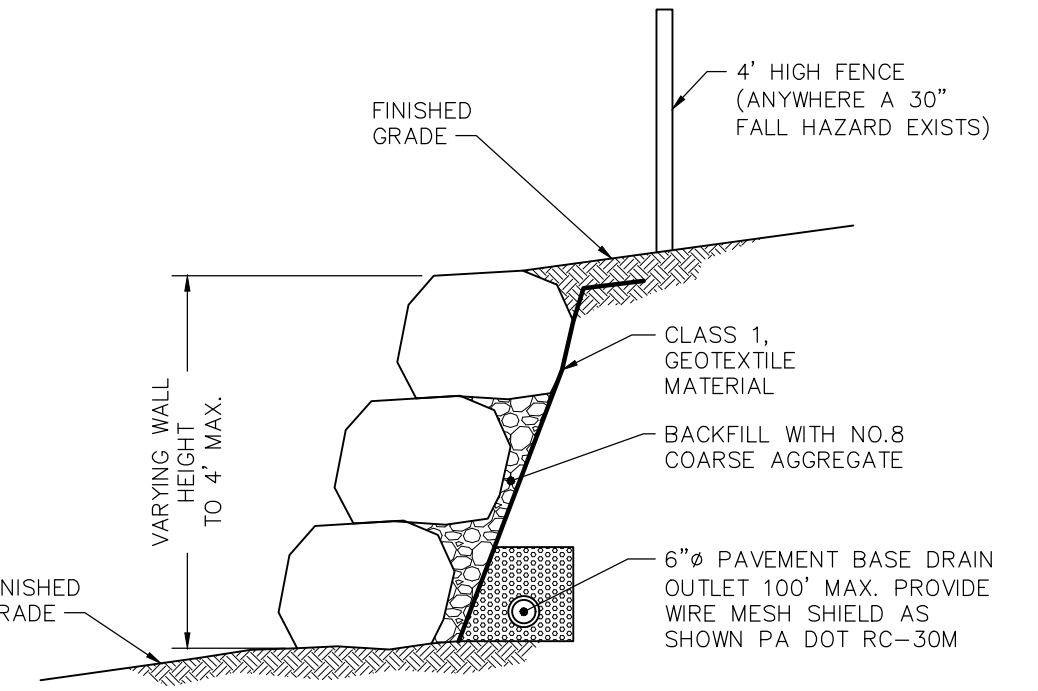
D STRAIGHT CURB DETAILS NOT TO SCALE



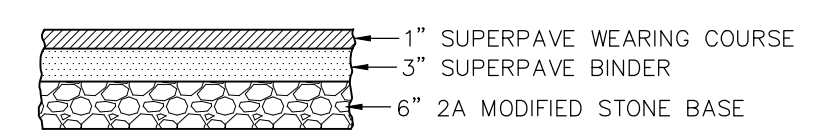
H TRAIL SECTION (6') NOT TO SCALE



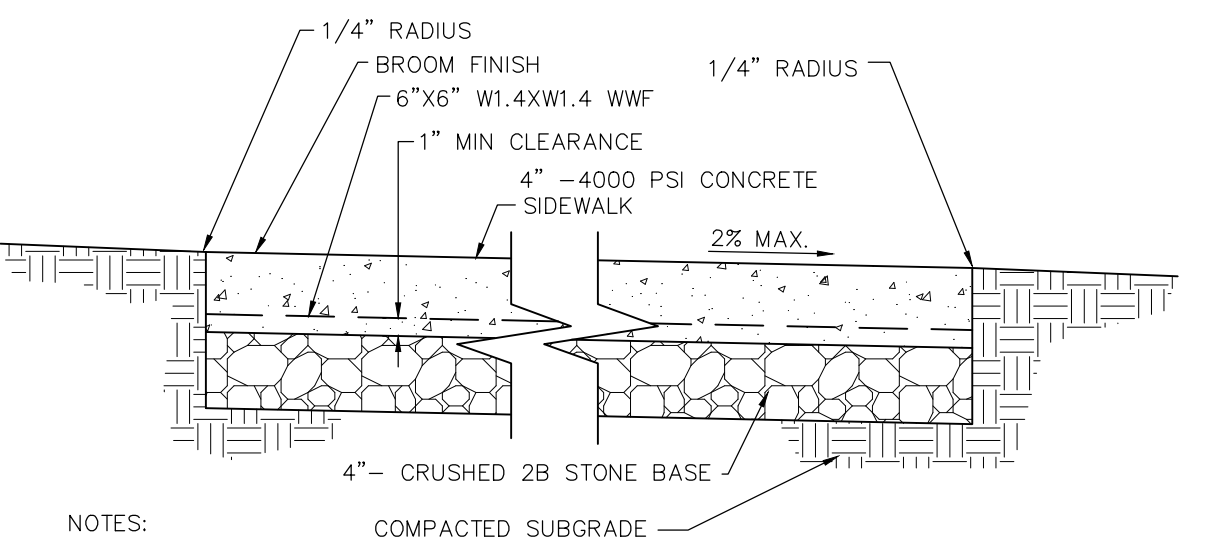
L SLANT CURB DETAIL NOT TO SCALE



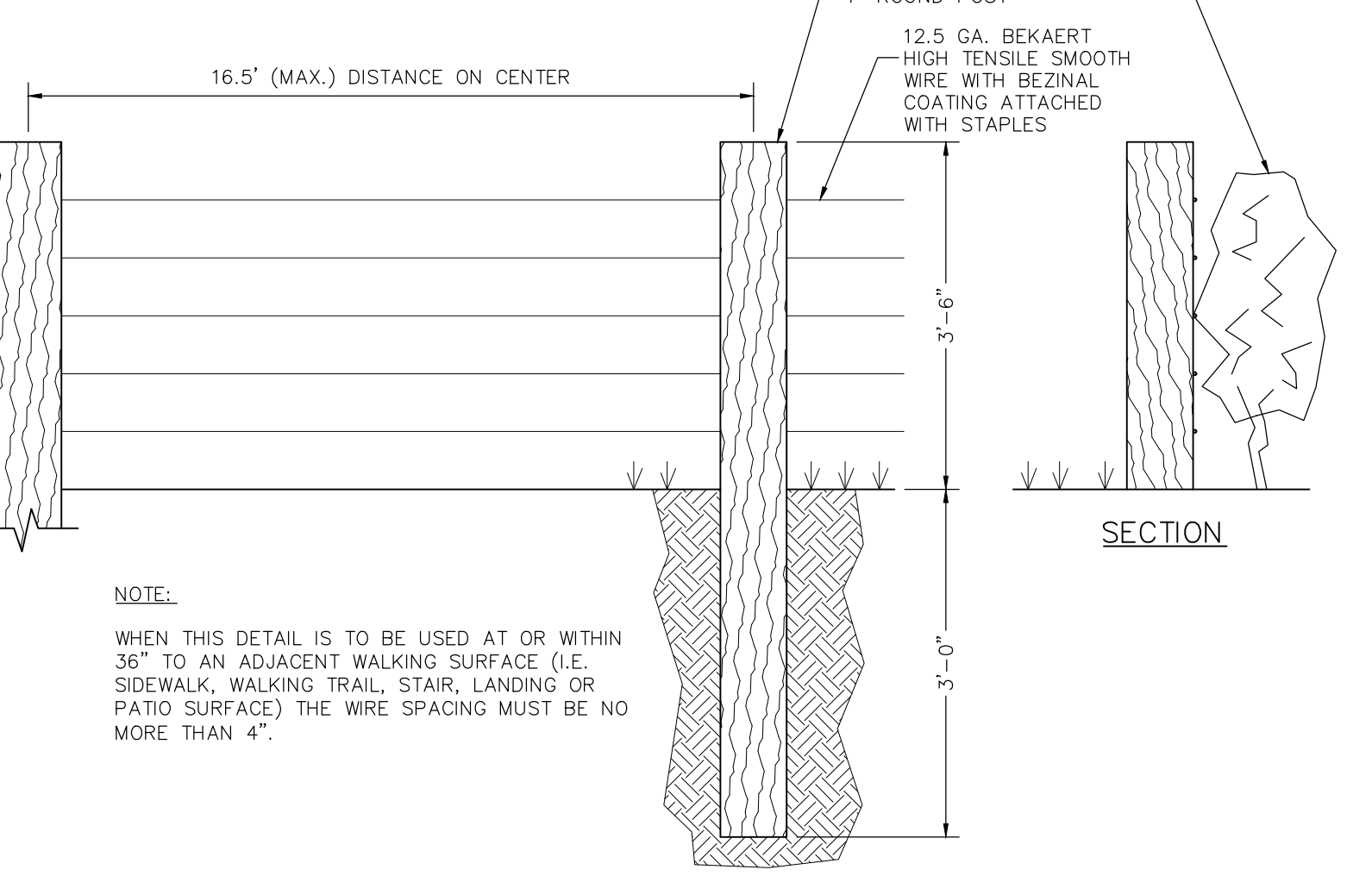
M ROCK LANDSCAPE WALL SECTION NOT TO SCALE



J TYPICAL PAVEMENT SECTION (PARKING LOTS) NOT TO SCALE



K CONCRETE SIDEWALK DETAIL NOT TO SCALE

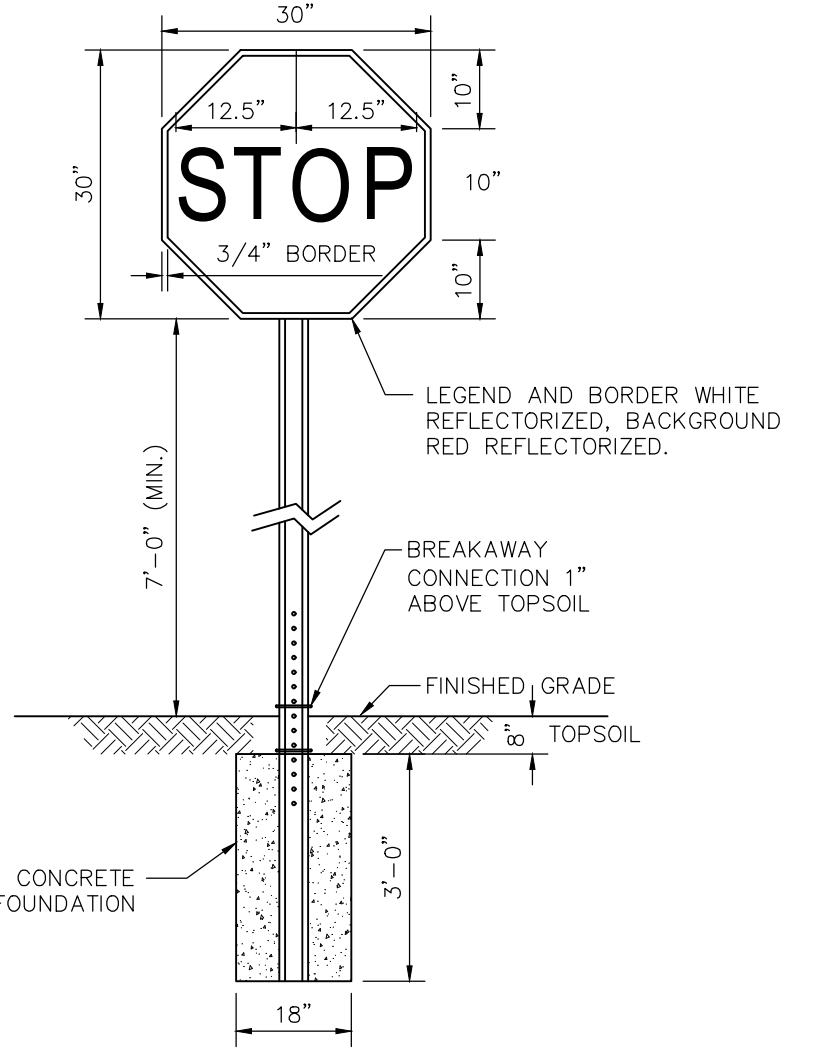


N FENCE ALONG RETAINING WALL NOT TO SCALE

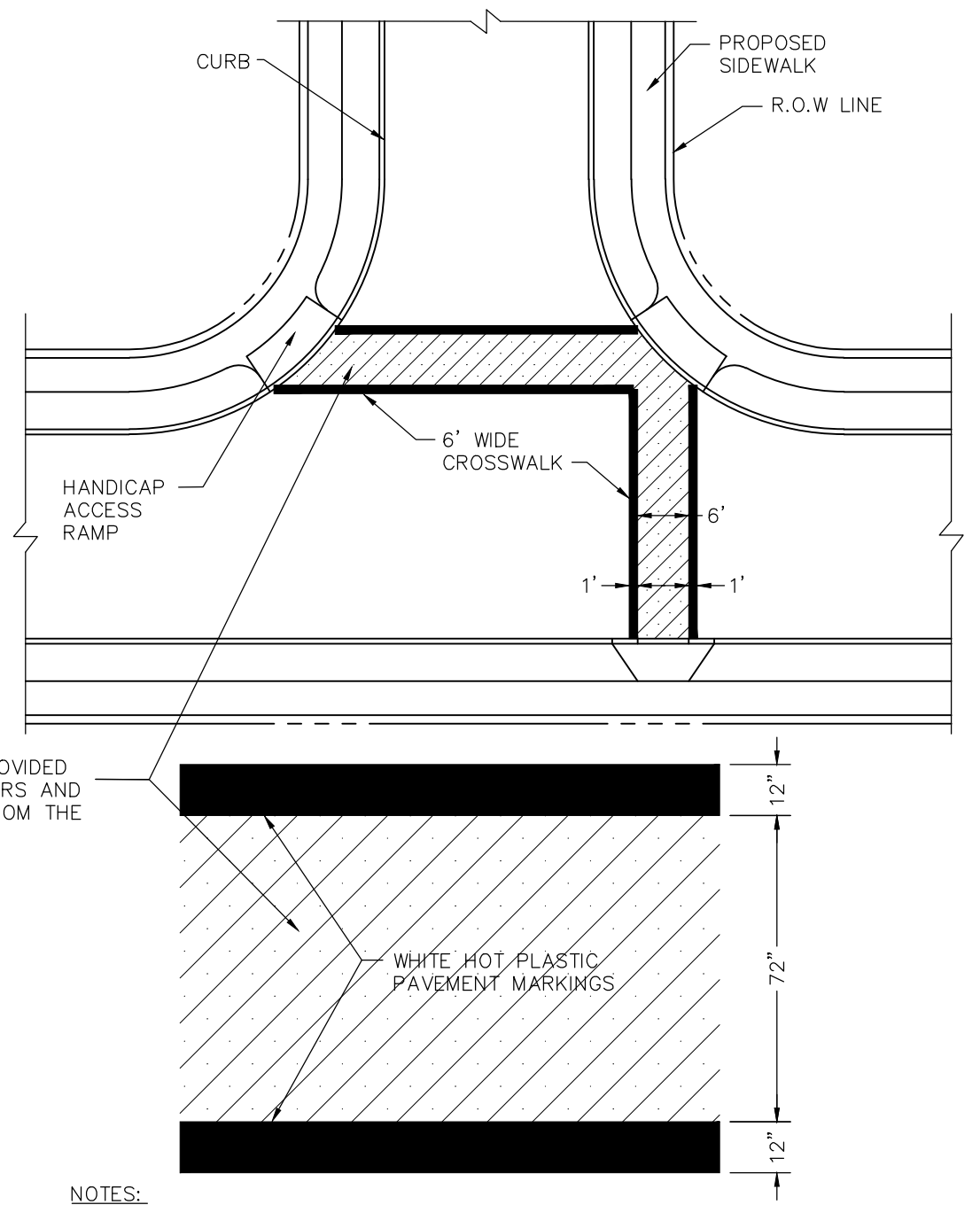
SIGN NOTES: ALL SIGNS SHALL MEET PENNDOT PUBLICATION 408 STANDARDS...

NOTE: THIS IS A TYPICAL SIGN DETAIL FOR REFERENCE PURPOSES ONLY...

F TYPICAL SIGN DETAIL NOT TO SCALE



G TYPICAL STOP SIGN DETAIL NOT TO SCALE



E TYPICAL CROSSWALK DETAIL NOT TO SCALE

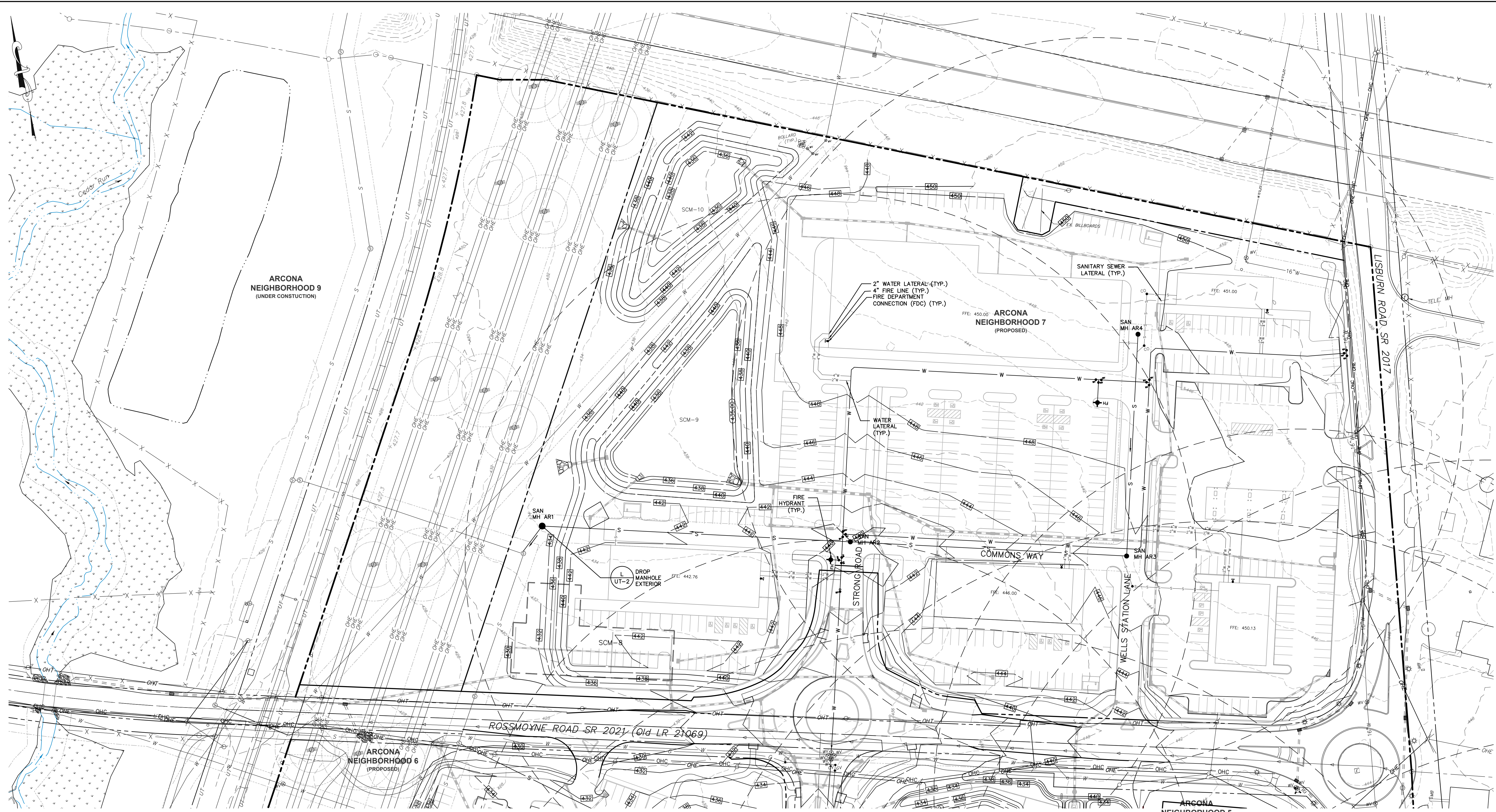
COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION...

NOTES: REFER TO SITE PLANS FOR LOCATIONS. PROVIDE PEDESTRIAN CROSSWALK SIGNS...

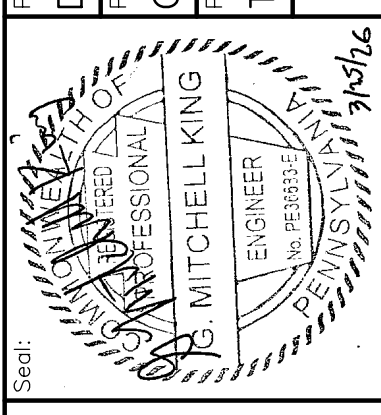
NOTES: PROVIDE 1/2" EXPANSION JOINT MATERIAL WHERE CURB CUT RAMP ADJACENT TO ANY RIGID PAVEMENT...

NOTES: ARMORGLASS DETECTABLE WARNING PANELS AS MANUFACTURED BY ARMOR CAST PRODUCT COMPANY OR EQUAL...

RETAINING WALL NOTES: Retaining walls shall be designed by a Professional Engineer experienced in retaining wall design...



Project Manager: <b>DAVID B. KEGERIZE PE</b>	Drafting: <b>D TURNER</b>
Project Engineer: <b>G. MITCHELL KING PE, PLS</b>	Checked by: <b>K POSTLETHWAIT</b>
Project Surveyor: <b>THOMAS K. PHILLIPS PLS</b>	Scale: <b>1" = 50'</b>



**TOWNE SQUARE ENGINEERING**  
313 W. Liberty St., Suite 241  
Lancaster, PA 17603  
Phone: (717) 283-4538  
**Civil Engineers & Land Planners**  
infotownsquareengineering.com

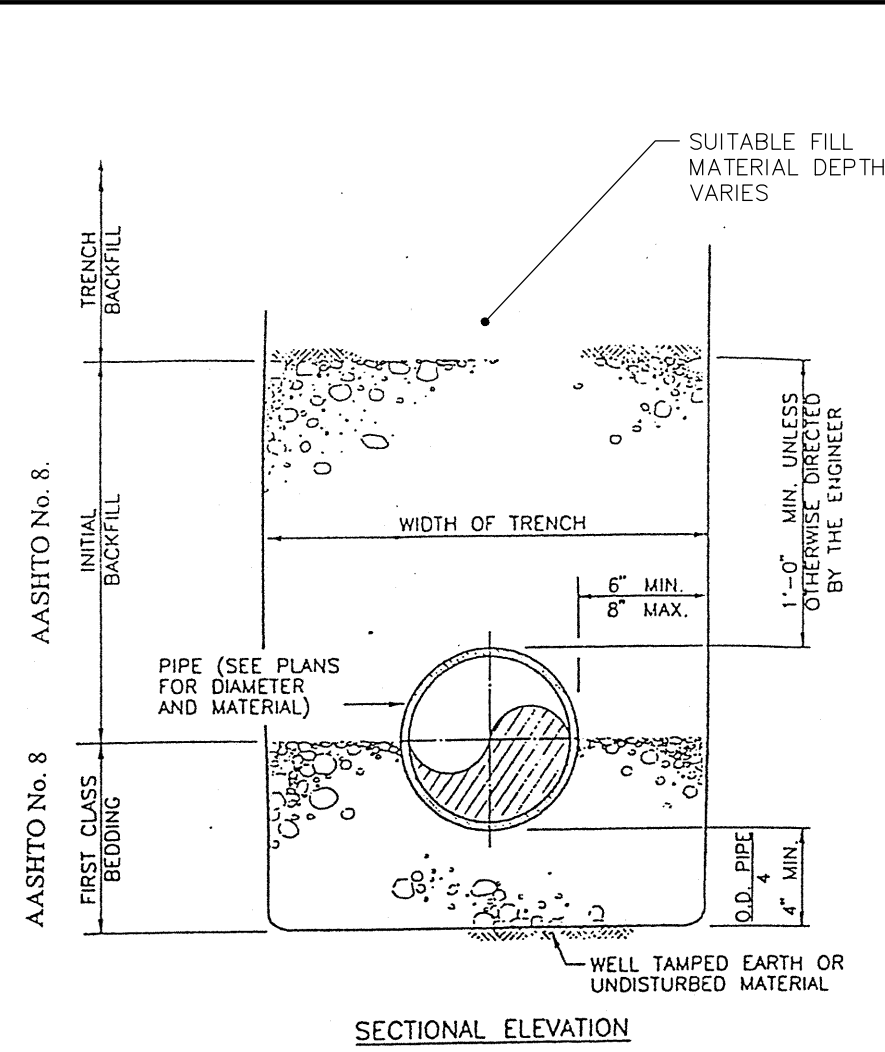
Section Number: <b>UT-1</b>	REVISIONS
DATE	

**PAWC NOTES:**

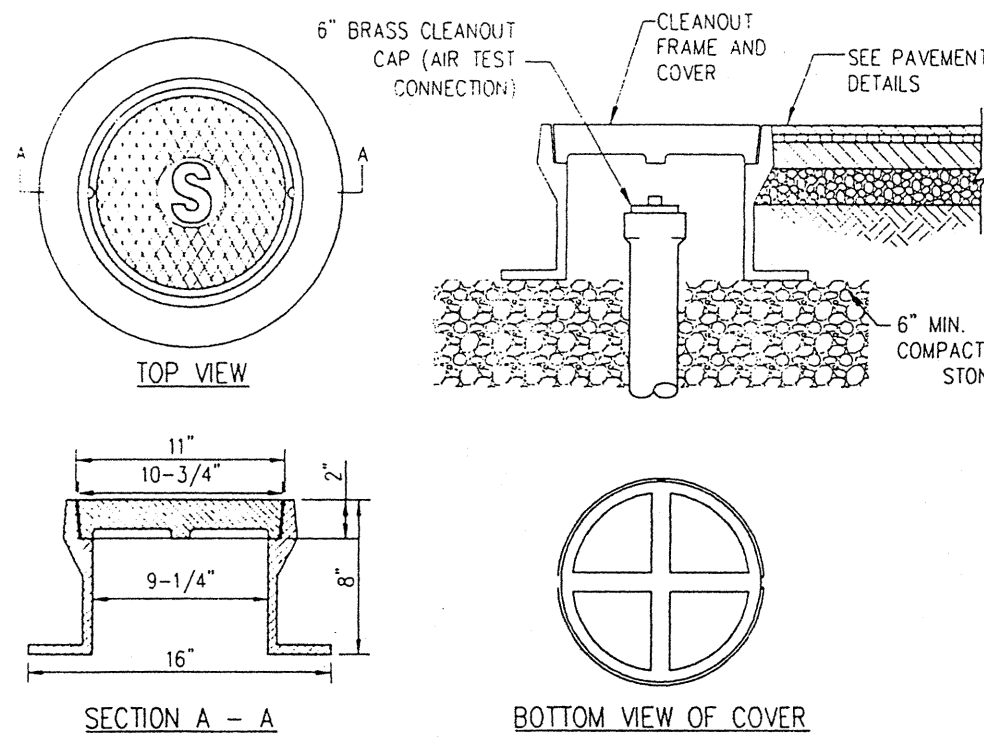
1. PRIOR TO COMMENCEMENT OF WATER MAIN INSTALLATION THE LOCAL PAWC MANAGER FOR THE PROJECT SHALL BE PROVIDED WITH A WORK PROGRESS/TIMING SCHEDULE IN ADVANCE OF ANY AND ALL WORK TO ALLOW FOR INSPECTOR SCHEDULING.
2. ALL SERVICES FROM MAIN TO METER PIT ARE 1" TYPE K COPPER. A 10-15' TAILPIECE SHALL BE INSTALLED OUT OF THE CURB STOP TO THE APPROXIMATE LOCATION OF THE METER PIT DURING INSTALLATION OF THE SERVICE LINE(S).
3. ALL CURB STOPS AND HYDRANTS SHALL BE PLACED IN THE GRASS WITHIN THE RIGHT-OF-WAY, STAKE RIGHT-OF-WAY AS REQUIRED.
4. THRUST BLOCKS ARE REQUIRED FOR ALL BLOW-OFFS, TEES, BENDS, AND HYDRANTS OR AS APPROVED BY PAWC INSPECTOR. LOCKING RUBBERS ARE REQUIRED AT THE DIRECTION OF PAWC INSPECTOR.
5. ALL HYDRANTS SHALL BE MANUFACTURED WITH STORZ CONNECTION(S). FIELD INSTALLED STORZ CONNECTION(S) WILL NOT BE ACCEPTED.
6. ALL HYDRANTS SHALL BE MANUFACTURED WITH THE APPROPRIATE COLOR. YELLOW FOR ALL PUBLIC HYDRANTS AND RED FOR ALL PRIVATE HYDRANTS.
7. ALL HYDRANTS ARE TO OPEN LEFT.
8. ALL VALVES ARE TO OPEN LEFT.
9. ALL VALVES ARE TO OPEN LEFT.
10. INSTALLATION OF 11 1/4" BENDS ARE ONLY REQUIRED IF DEFLECTION OF THE PIPE CAN'T BE ACHIEVED, CONSULT PAWC INSPECTOR PRIOR TO A BEND BEING OMITTED.
11. INSTALLATION OF WATER MAIN SHALL BE INSTALLED PER THE APPROVED PAWC PLAN STARTING AT THE TAP OR TIE-IN POINT. DEVIATION FROM THIS SHALL BE COORDINATED DIRECTLY WITH FIELD OPS SUPERVISOR.
12. NO SERVICES SHALL BE INSTALLED UNTIL THE WATER HAS PASSED ALL REQUIRED TESTING.
13. ALL VALVE BOX TOPS SHALL BE SET TO THE STREET PAVEMENT BASE COURSE ELEVATION. PRIOR TO THE INSTALLATION OF THE PAVEMENT WEARING COURSE, VALVE BOX RISERS SHALL BE INSTALLED AT THE DIRECTION OF THE PAWC INSPECTOR. ALL VALVE BOX TOPS AND LIDS DAMAGED PRIOR TO THE INSTALLATION OF THE WEARING COURSE ARE THE RESPONSIBILITY OF THE DEVELOPER.

**LATA NOTES:**

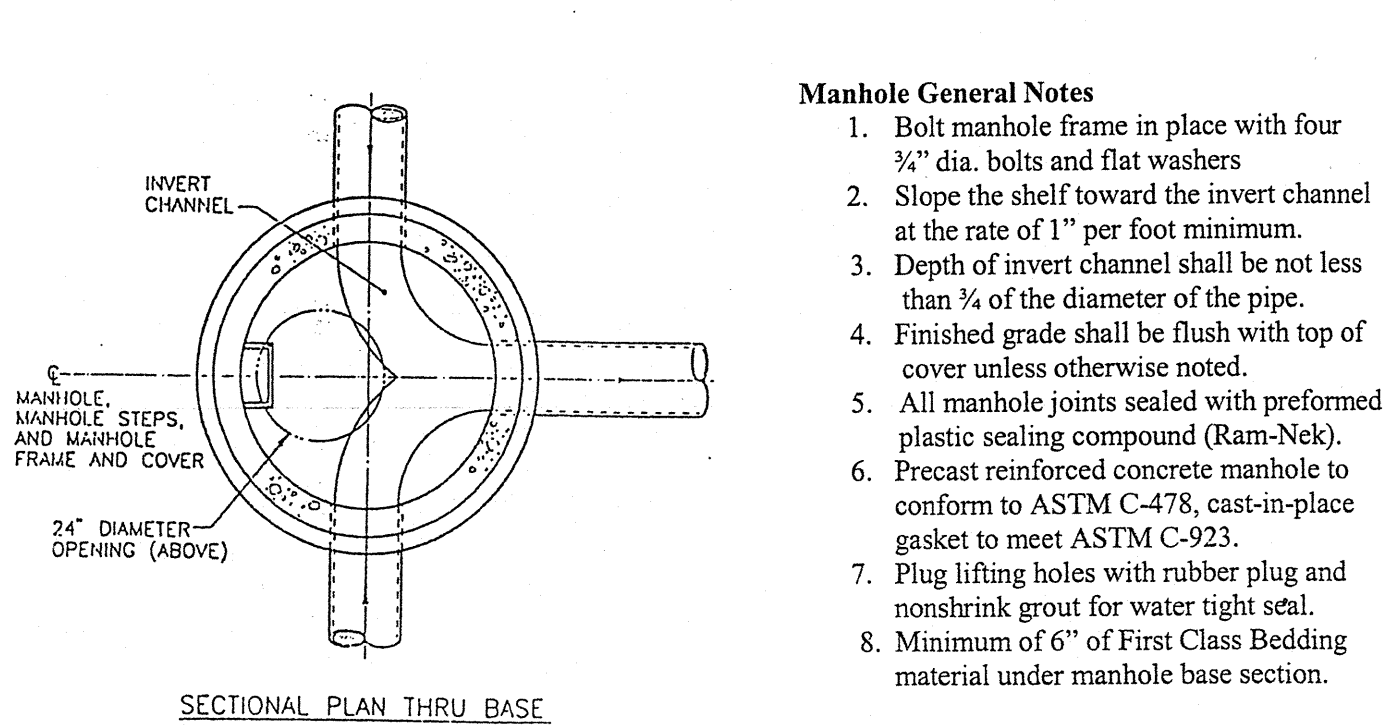
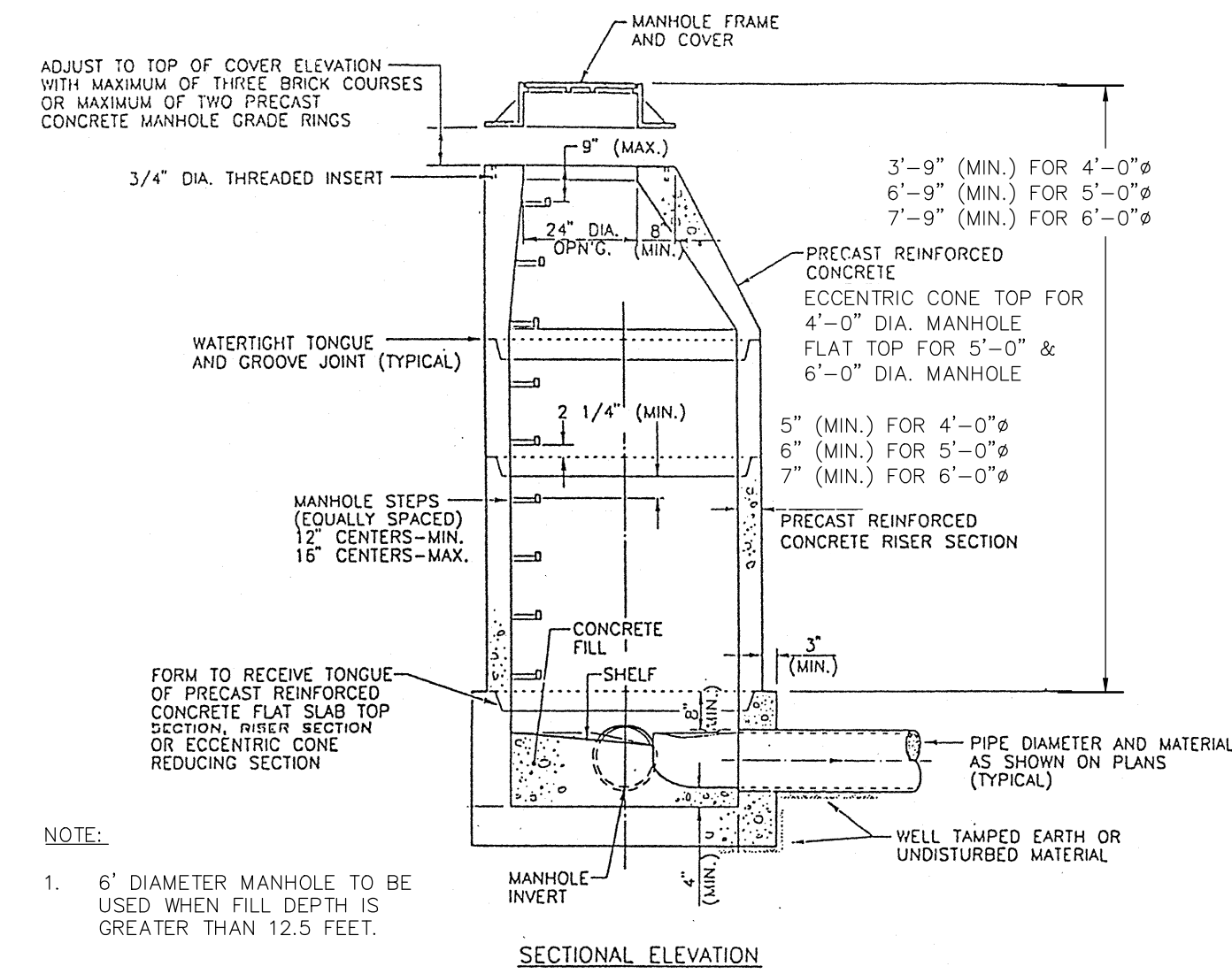
1. ALL SANITARY SEWER LATERALS ARE 6" SDR 35.
2. SANITARY SEWER CLEANOUTS ARE NOT PERMITTED IN SIDEWALKS.
3. THE SITE SHALL BE GRADED TO THE PROPOSED NEW SUB-GRADE ELEVATION PRIOR TO STARTING SEWER LINE CONSTRUCTION.
4. THE PROPERTY OWNER IS RESPONSIBLE FOR FINAL SURFACE RESTORATION AFTER AUTHORITY FUTURE SEWER MAINTENANCE AND BACKFILL TO SUB-GRADE.
5. EXISTING SEWER MAIN FLOW AND SERVICE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE A WORK PLAN PRIOR TO STARTING SEWER CONSTRUCTION THAT SHOWS HOW FLOW WILL BE MAINTAINED.
6. ALL CLEANOUTS LOCATED IN OPEN SPACE AREAS SHALL HAVE HEAVY DUTY FRAME AND COVER. (SEE F-UT-2).
7. SANITARY SEWER MANHOLES IN GRASSED AREAS SHALL HAVE WATER TIGHT FRAME AND COVERS. (SEE F-UT-2).
8. MAINTENANCE AND REPAIR OF SANITARY SEWER LATERALS OFF SANITARY SEWER MAINS WITHIN ARCONA NEIGHBORHOOD 7 WILL BE THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS.
9. ALL FOOD ESTABLISHMENTS WILL REQUIRE AN EXTERNAL GREASE TRAP.



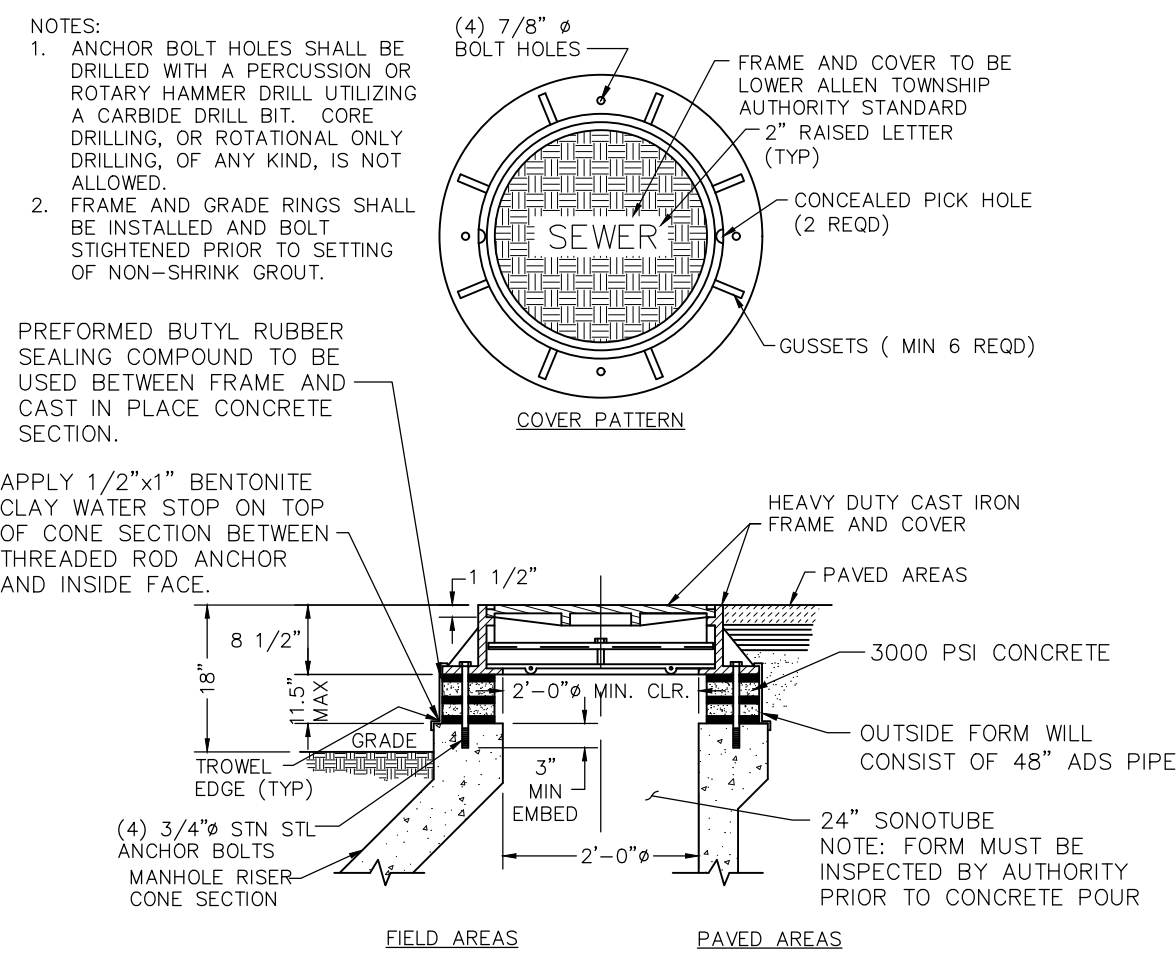
**A FIRST CLASS BEDDING AND INITIAL BACKFILL PIPE BEDDING**  
UT-2 NOT TO SCALE



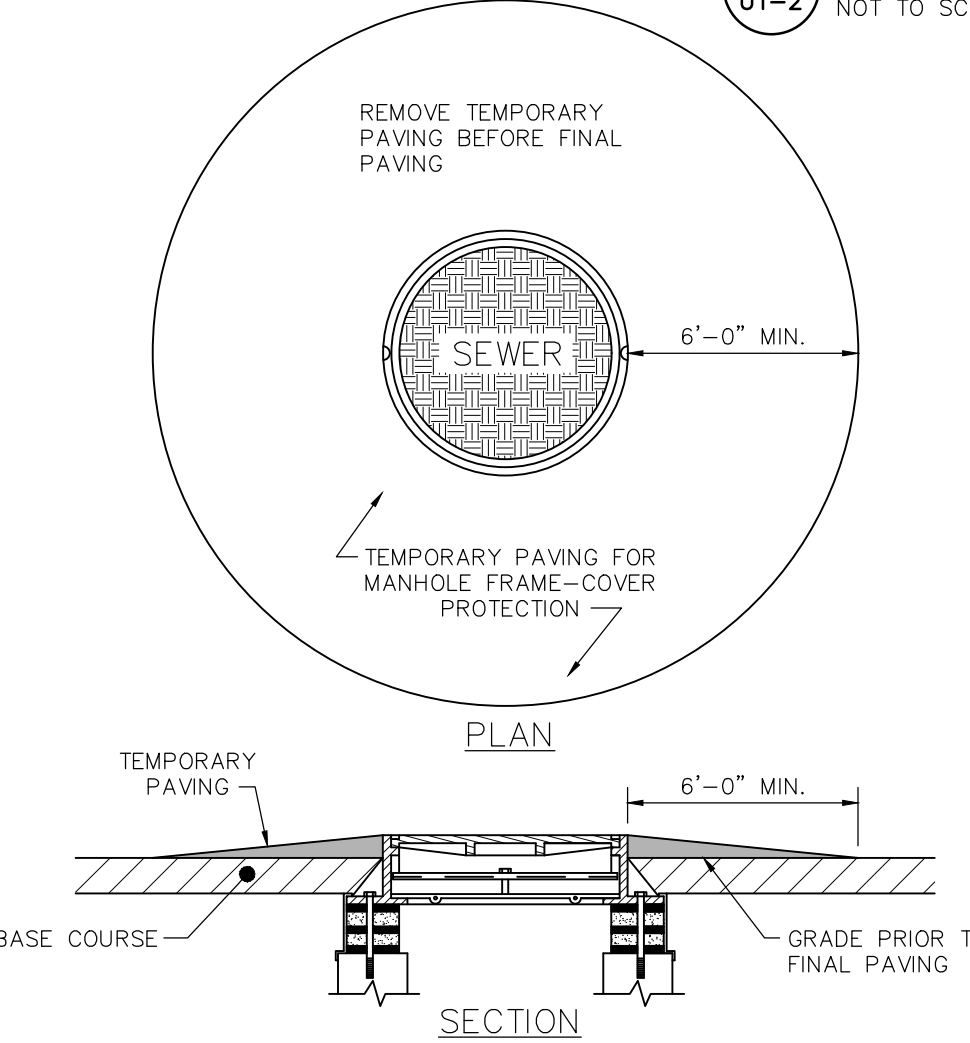
**B HEAVY DUTY CLEANOUT FRAME AND COVER**  
UT-2 NOT TO SCALE



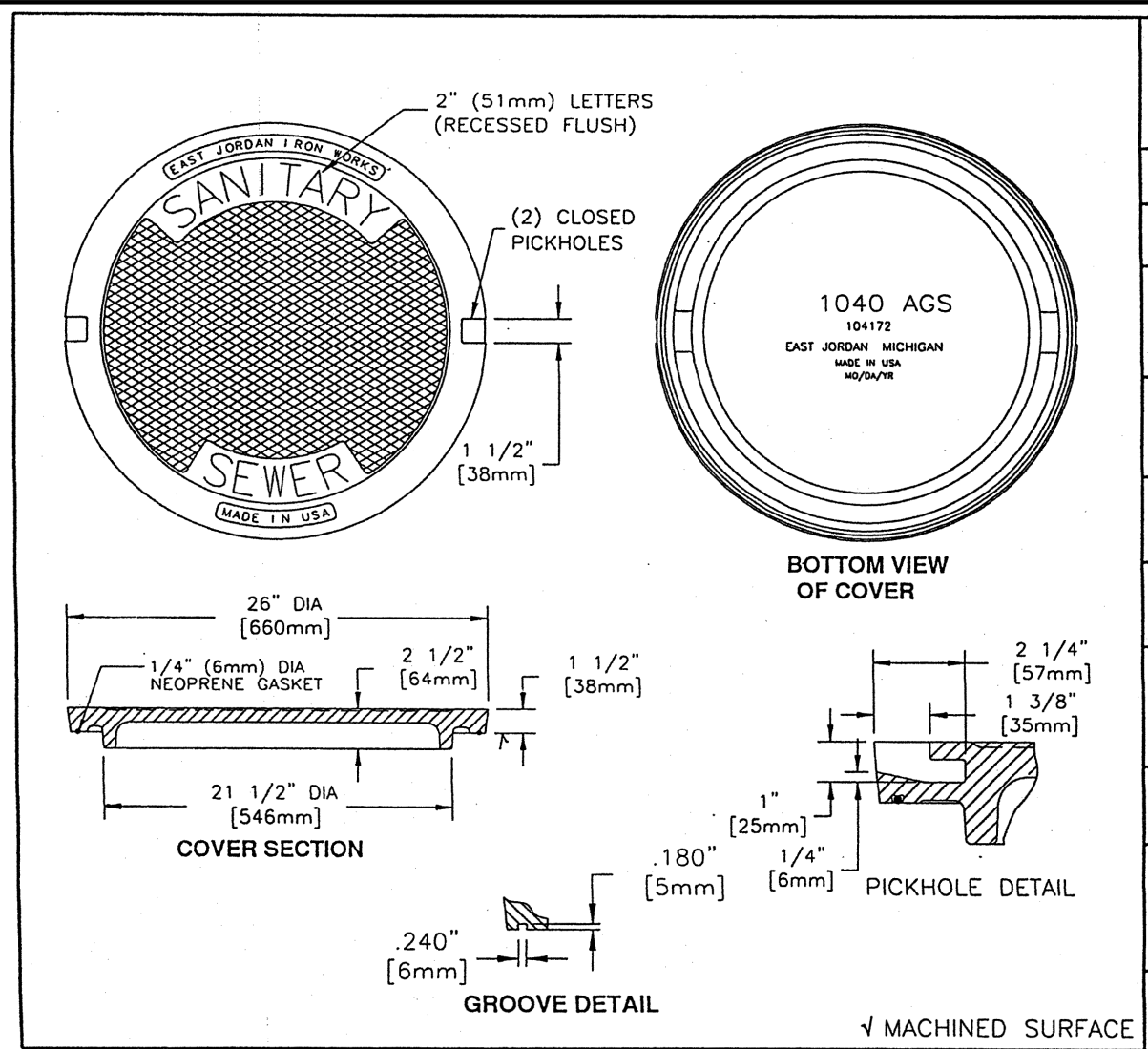
**C STANDARD MANHOLE - 4' & 6' DIAMETER**  
UT-2 NOT TO SCALE



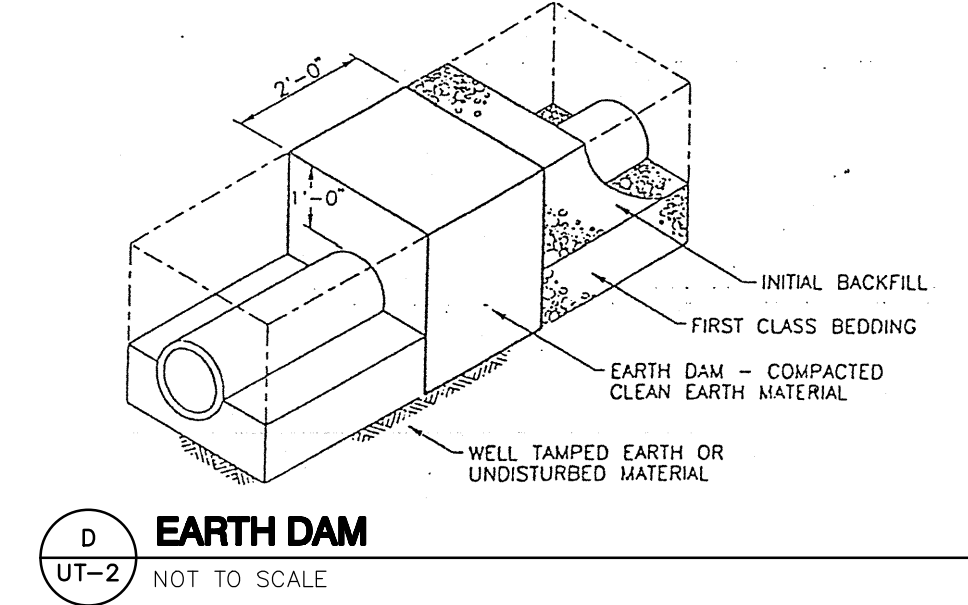
**M MANHOLE FRAME & COVER**  
UT-2 NOT TO SCALE



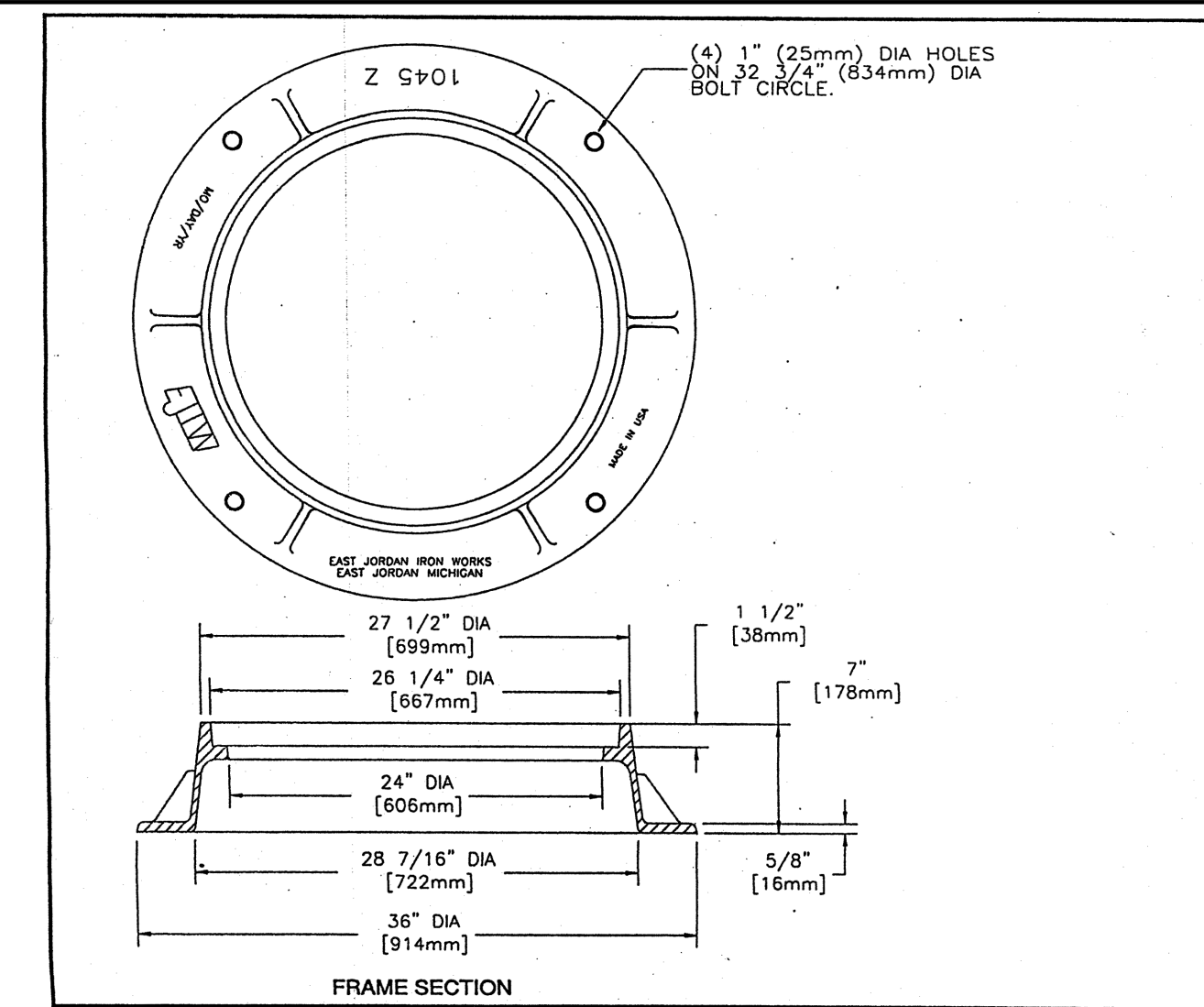
**O MANHOLE FRAME/COVER PROTECTION DETAIL PRIOR TO FINAL PAVING**  
UT-2 NOT TO SCALE



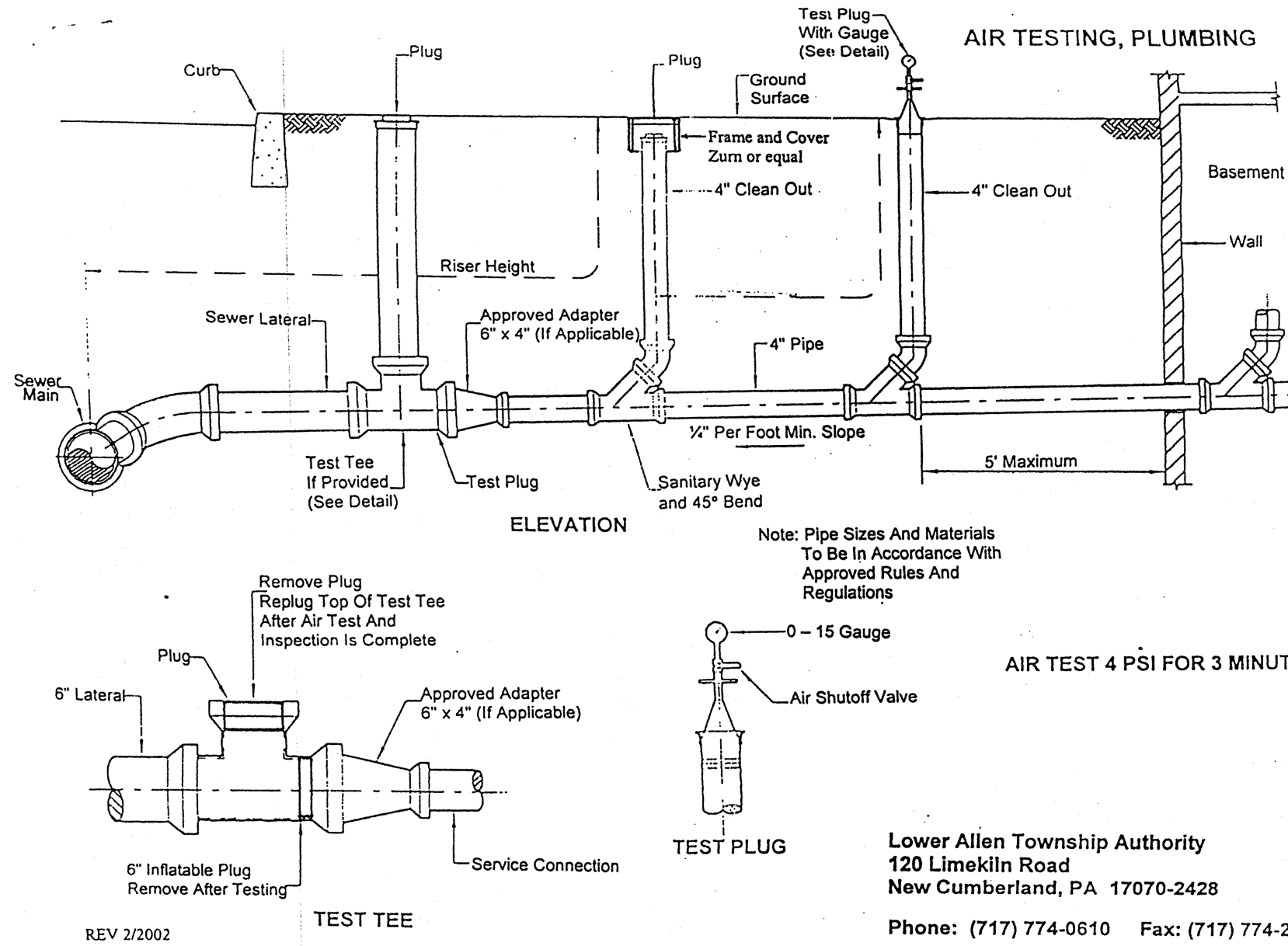
**E MANHOLE FRAME AND COVER**  
UT-2 NOT TO SCALE



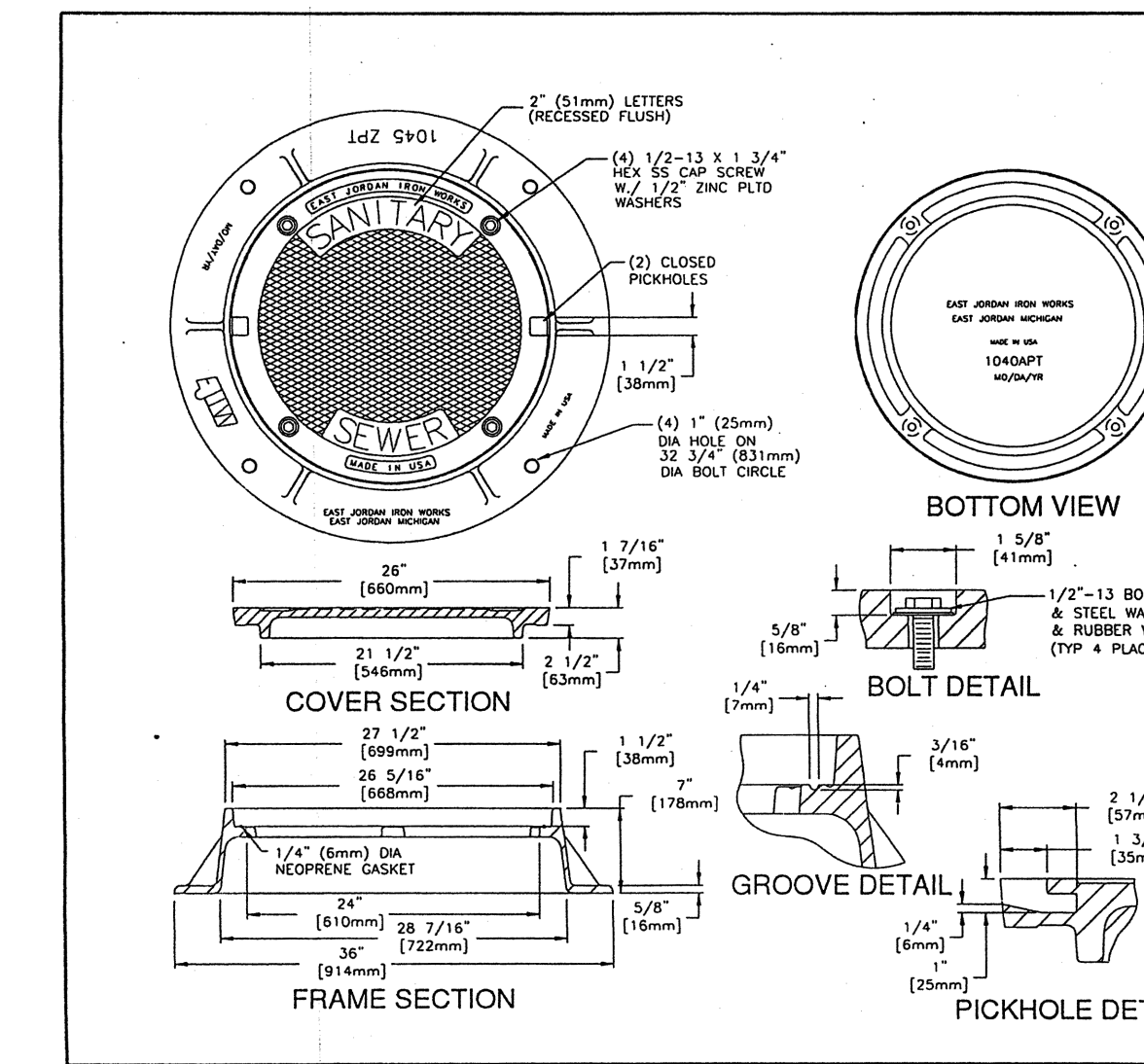
**D EARTH DAM**  
UT-2 NOT TO SCALE



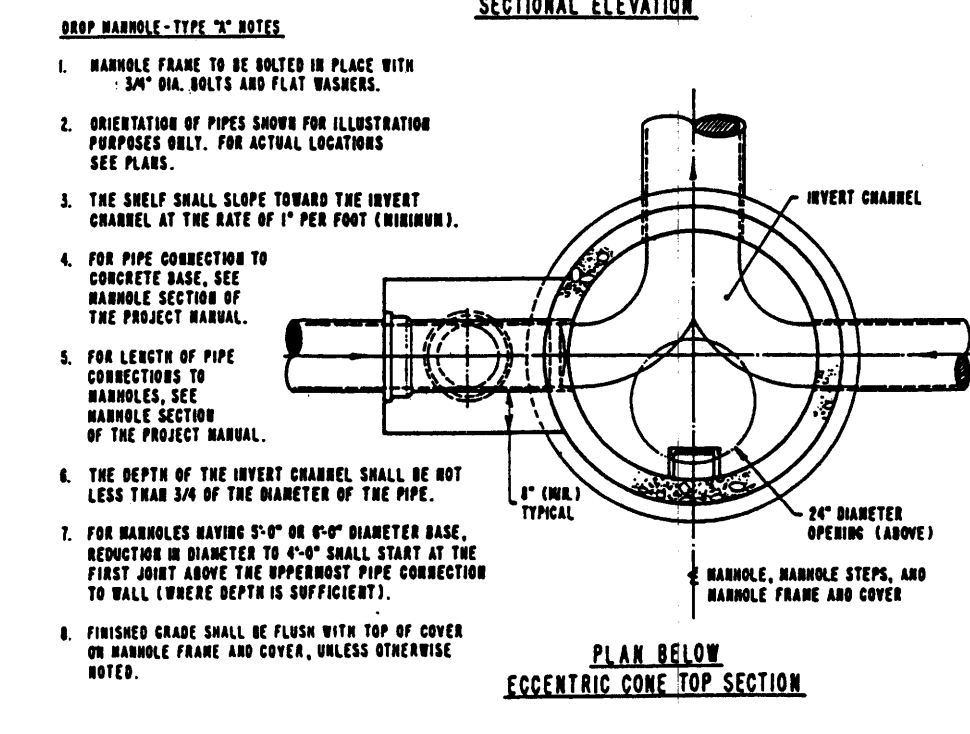
**G MANHOLE FRAME**  
UT-2 NOT TO SCALE



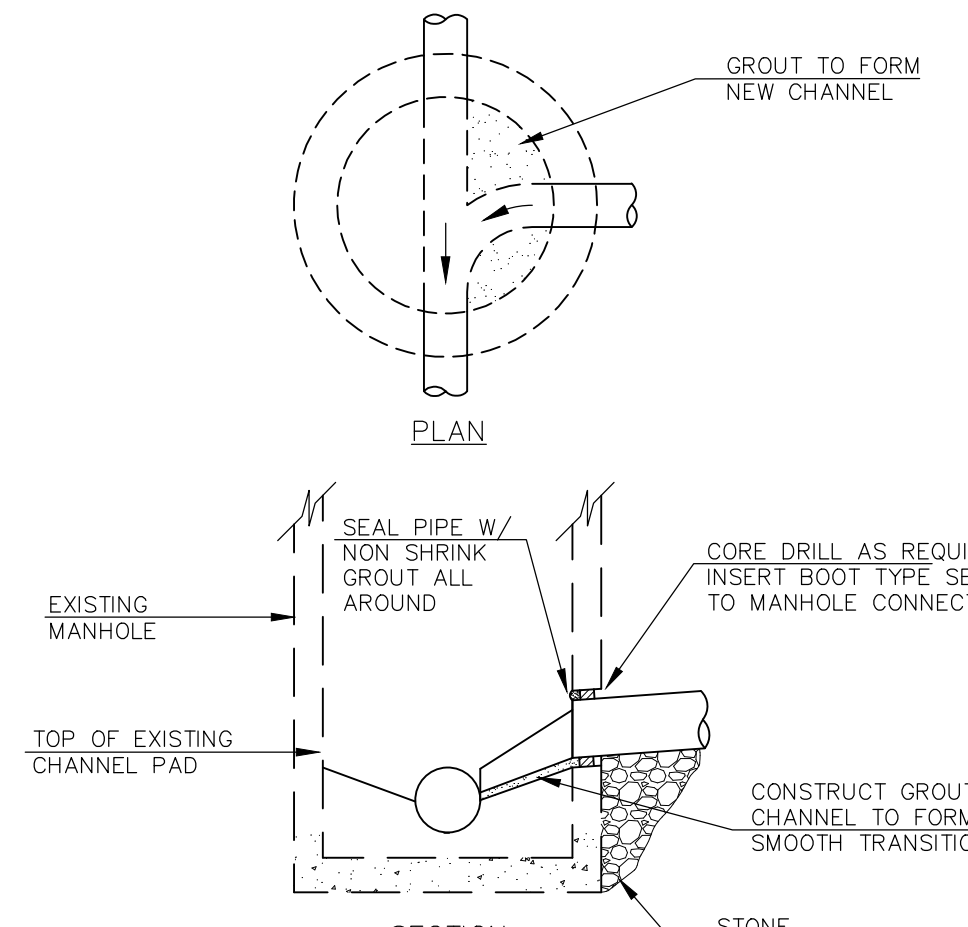
**H SANITARY SEWER LATERAL DETAILS**  
UT-2 NOT TO SCALE



**F WATER TIGHT MANHOLE FRAME AND COVER**  
UT-2 NOT TO SCALE



**L DROP MANHOLE DETAIL - EXTERIOR**  
UT-2 NOT TO SCALE



**J CONNECTION TO EXISTING MANHOLE**  
UT-2 NOT TO SCALE

**EAST JORDAN IRON WORKS, INC.**  
P.O. BOX 439  
EAST JORDAN, MI 49727  
1-800-874-4100  
FAX 231-536-4458  
DRAWN DATE 11/14/00  
DEW DATE  
APPROVED DATE  
SPECIAL LETTERED COVER  
PRODUCT NO. 00104172  
CATALOG NO. 1040AGS  
REF. PRODUCT DRAWING 104172  
EST. WT. COVER: 150 LBS 68kg  
OPEN AREA N/A  
MAT'L SPEC. COVER - GRAY IRON ASTM A48 CL35  
LOAD RATING HEAVY DUTY

**EAST JORDAN IRON WORKS, INC.**  
P.O. BOX 439  
EAST JORDAN, MI 49727  
1-800-874-4100  
FAX 231-536-4458  
DRAWN DATE 08/25/99  
DEW DATE  
APPROVED DATE  
MANHOLE FRAME  
PRODUCT NO. 104510-DIPPED 104511-UNDIPPED  
CATALOG NO. 1045Z  
REF. PRODUCT DRAWING 104510  
EST. WT. FRAME: 165 LBS 75kg  
OPEN AREA N/A  
MAT'L SPEC. FRAME - GRAY IRON ASTM A48 CL35  
LOAD RATING HEAVY DUTY

**M MANHOLE FRAME AND COVER**  
UT-2 NOT TO SCALE

**ARCONA NEIGHBORHOOD 7**  
Lower Allen Township - Cumberland County, PA  
CHARTER HOMES & NEIGHBORHOODS  
UTILITY DETAILS

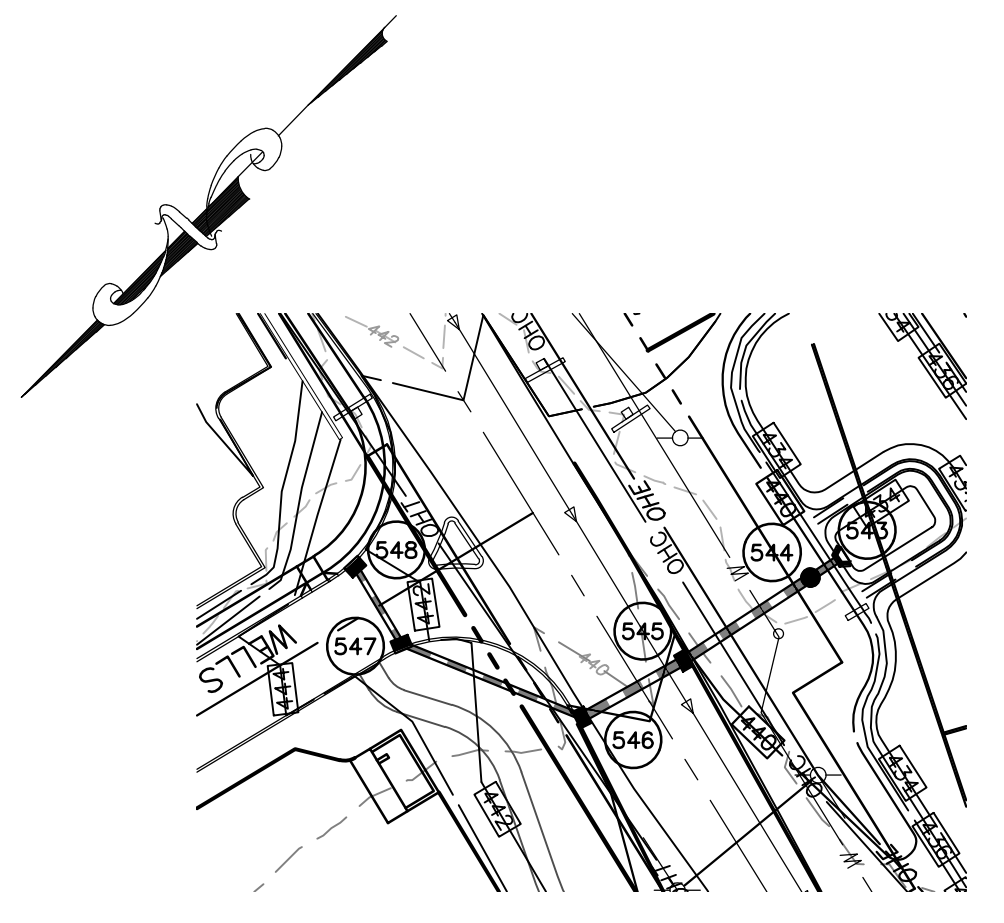
Drafting: D. TURNER  
Checked by: K. POSTLETHWAIT  
Project Engineer: G. MITCHELL KING PE, PLS  
Project Surveyor: THOMAS K. PHILLIPS PLS  
Scale: AS NOTED

**TOWNE SQUARE ENGINEERING**  
Civil Engineers & Land Planners  
313 W. Liberty St., Suite 241  
Lancaster, PA 17603  
Phone: (717) 283-4538

**EAST JORDAN IRON WORKS, INC.**  
P.O. BOX 439  
EAST JORDAN, MI 49727  
1-800-874-4100  
FAX 231-536-4458  
DRAWN DATE 12/07/99  
DEW DATE  
APPROVED DATE  
WATER TIGHT ASSEMBLY  
PRODUCT NO. 104509  
CATALOG NO. 104DAPT 1045ZPT  
REF. PRODUCT DRAWING 104512 104174  
EST. WT. FRAME: 165 LBS 75kg  
UNIT: 315 LBS 143kg  
OPEN AREA N/A  
MAT'L SPEC. COVER - GRAY IRON ASTM A48 CL35  
FRAME - GRAY IRON ASTM A48 CL35  
LOAD RATING HEAVY DUTY

NOTES:

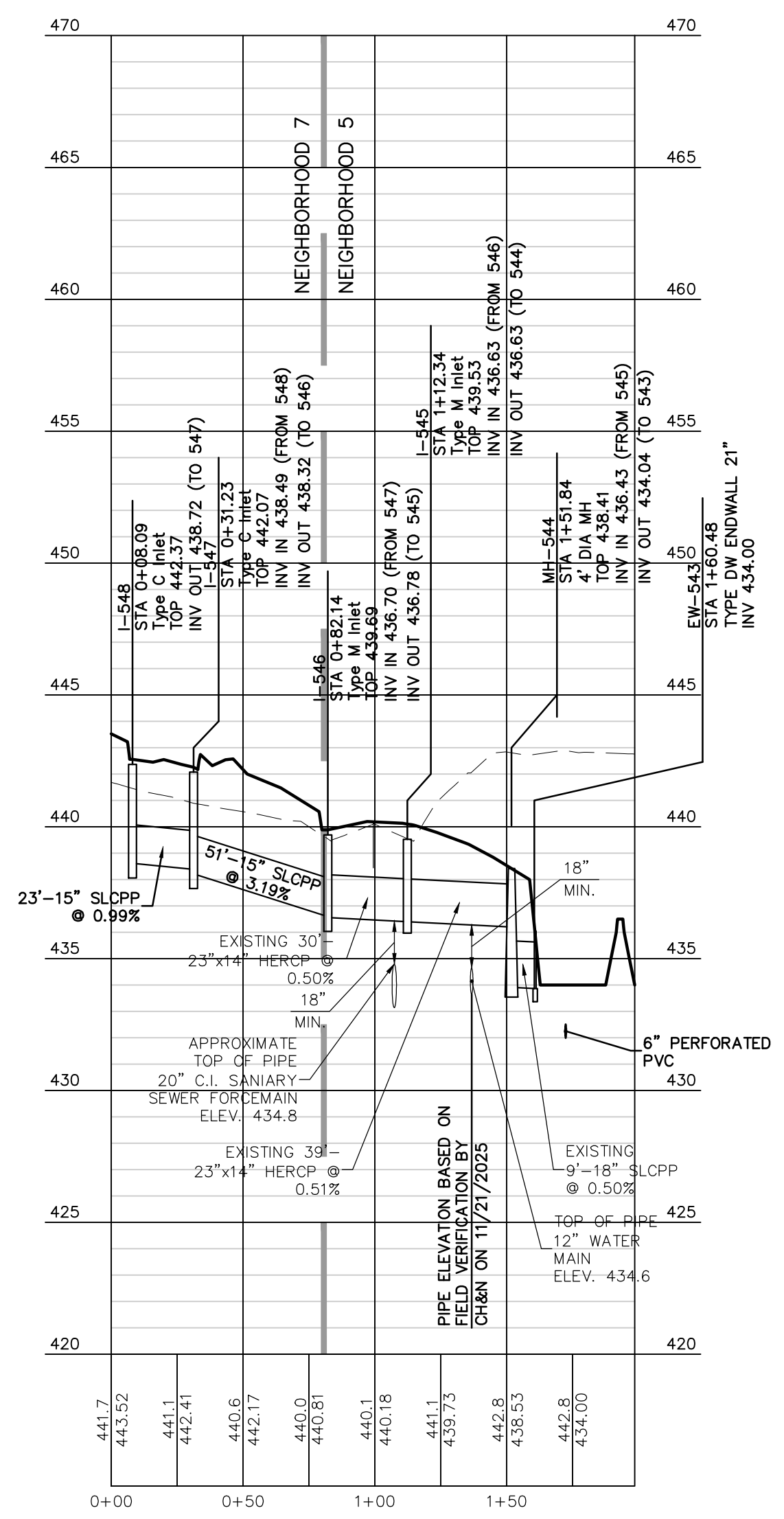
1. CONTRACTOR TO FIELD VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
2. UNDERGROUND UTILITIES HAVE BEEN SHOWN ACCORDING TO INFORMATION PROVIDED BY OTHERS AND MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION, EXCAVATION, OR BLASTING. THE ACTUAL LOCATIONS OF THESE UTILITIES HAVE NOT BEEN FIELD VERIFIED AND THE LOCATIONS ARE APPROXIMATE, UNLESS NOTED BELOW. TOWNE SQUARE ENGINEERING DOES NOT MAKE ANY REPRESENTATION, WARRANTY, ASSURANCE OR GUARANTEE THAT THE UNDERGROUND UTILITY LOCATION INFORMATION PROVIDED BY OTHERS AND REFLECTED ON THESE DRAWINGS IS CORRECT AND ACCURATE. TOWNE SQUARE ENGINEERING ASSUMES NO RESPONSIBILITY FOR ANY DAMAGE INCURRED AS A RESULT OF UNDERGROUND UTILITIES OMITTED OR INACCURATELY SHOWN.



PLAN SCALE: 1" = 50'

NOTES:

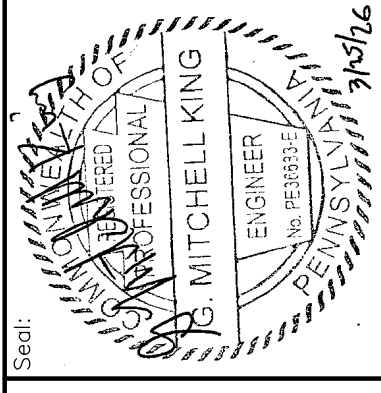
1. STORMWATER STRUCTURES I-546 TO EW-543 ARE TO BE CONSTRUCTED AS PART OF NEIGHBORHOOD 3-6.
2. STORMWATER PIPES FROM I-546 TO EW-543 ARE TO BE CONSTRUCTED AS PART OF NEIGHBORHOOD 3-6.



PROFILE: I-548 TO EW-543  
SCALE HORZ.: 1" = 50' VERT.: 1" = 5'

**ARCONA NEIGHBORHOOD 7**  
Lower Allen Township - Cumberland County, PA  
CHARTER HOMES & NEIGHBORHOODS

Project Manager:	DAVID B. KEGERIZE PE	Drafting:	D TURNER
Project Engineer:	G. MITCHELL KING PE, PLS	Checked by:	K POSTLETHWAIT
Project Surveyor:	THOMAS K. PHILLIPS PLS	Scale:	1" = 50'



**TOWNE SQUARE ENGINEERING**  
Civil Engineers & Land Planners  
info@townsquareengineering.com  
313 W. Liberty St., Suite 241  
Lancaster, PA 17603  
Phone: (717) 283-4538

NO.	DATE	REVISIONS

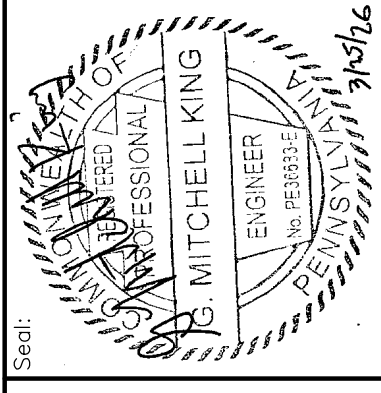
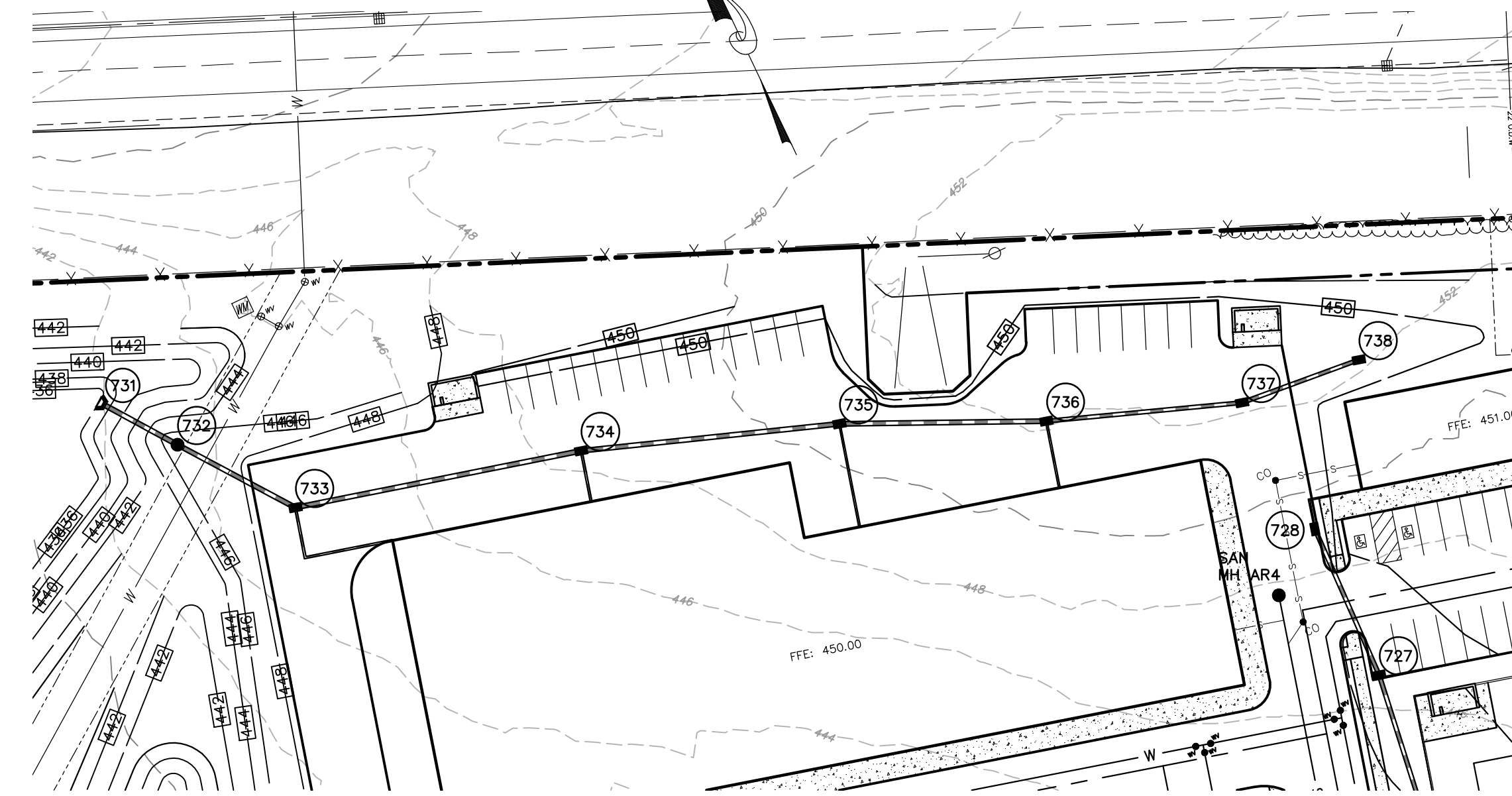
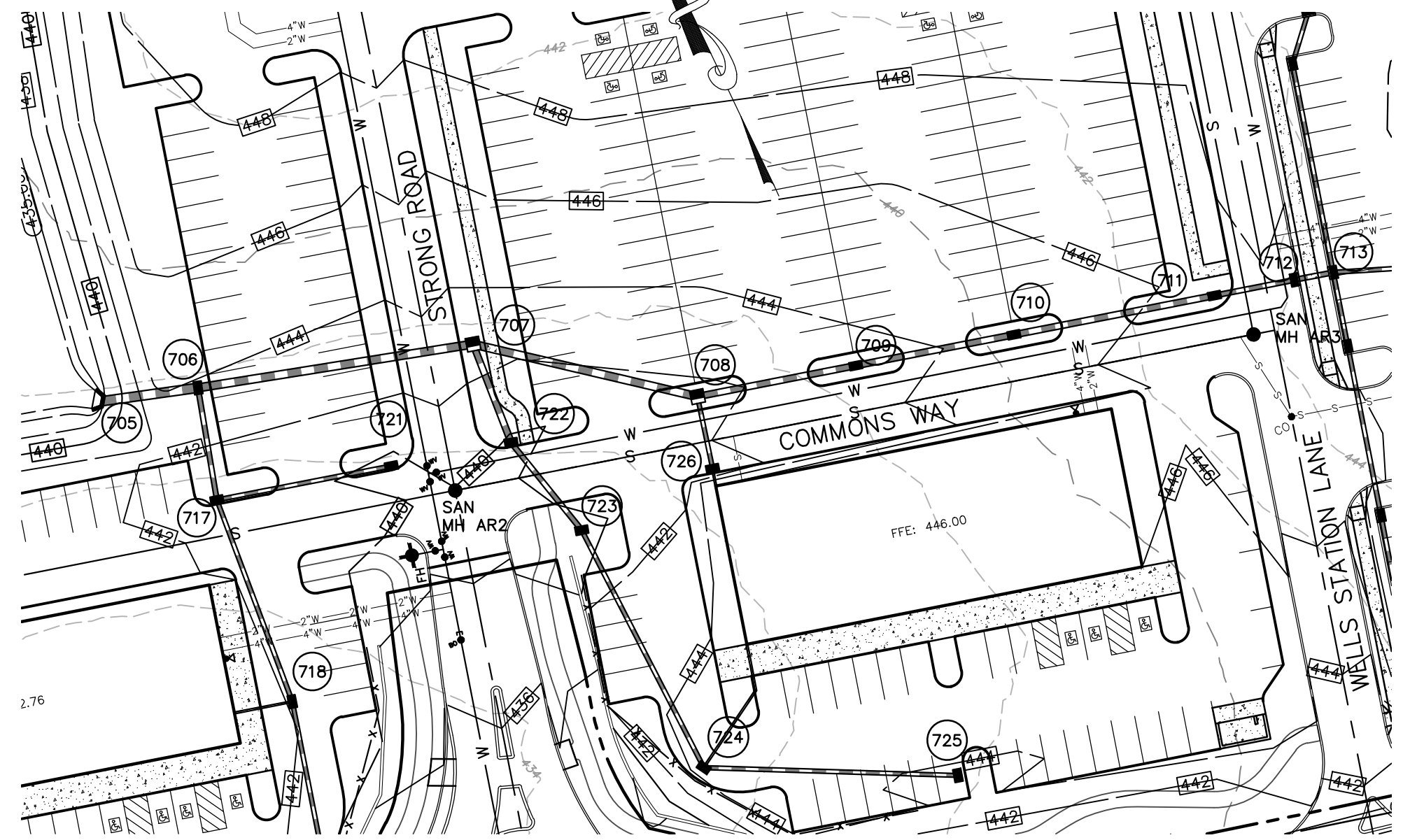


Table with columns for REVISIONS, DATE, and other tracking information.

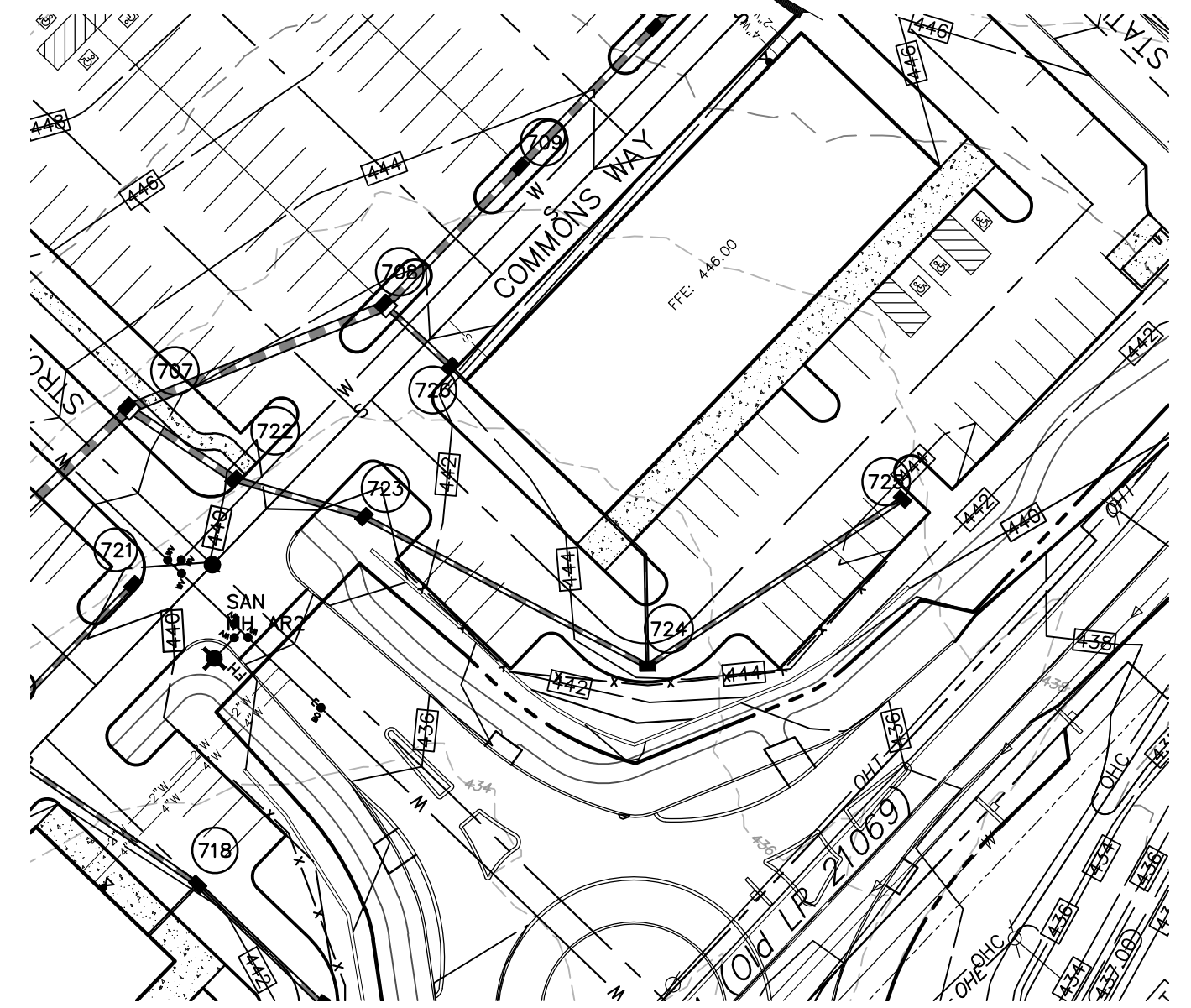
- NOTES:
1. CONTRACTOR TO FIELD VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
2. UNDERGROUND UTILITIES HAVE BEEN SHOWN ACCORDING TO INFORMATION PROVIDED BY OTHERS AND MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION, EXCAVATION, OR BLASTING. THE ACTUAL LOCATIONS OF THESE UTILITIES HAVE NOT BEEN FIELD VERIFIED AND THE LOCATIONS ARE APPROXIMATE, UNLESS NOTED BELOW. TOWNE SQUARE ENGINEERING DOES NOT MAKE ANY REPRESENTATION, WARRANTY, ASSURANCE OR GUARANTEE THAT THE UNDERGROUND UTILITY LOCATION INFORMATION PROVIDED BY OTHERS AND REFLECTED ON THESE DRAWINGS IS CORRECT AND ACCURATE. TOWNE SQUARE ENGINEERING ASSUMES NO RESPONSIBILITY FOR ANY DAMAGE INCURRED AS A RESULT OF UNDERGROUND UTILITIES OMITTED OR INACCURATELY SHOWN.



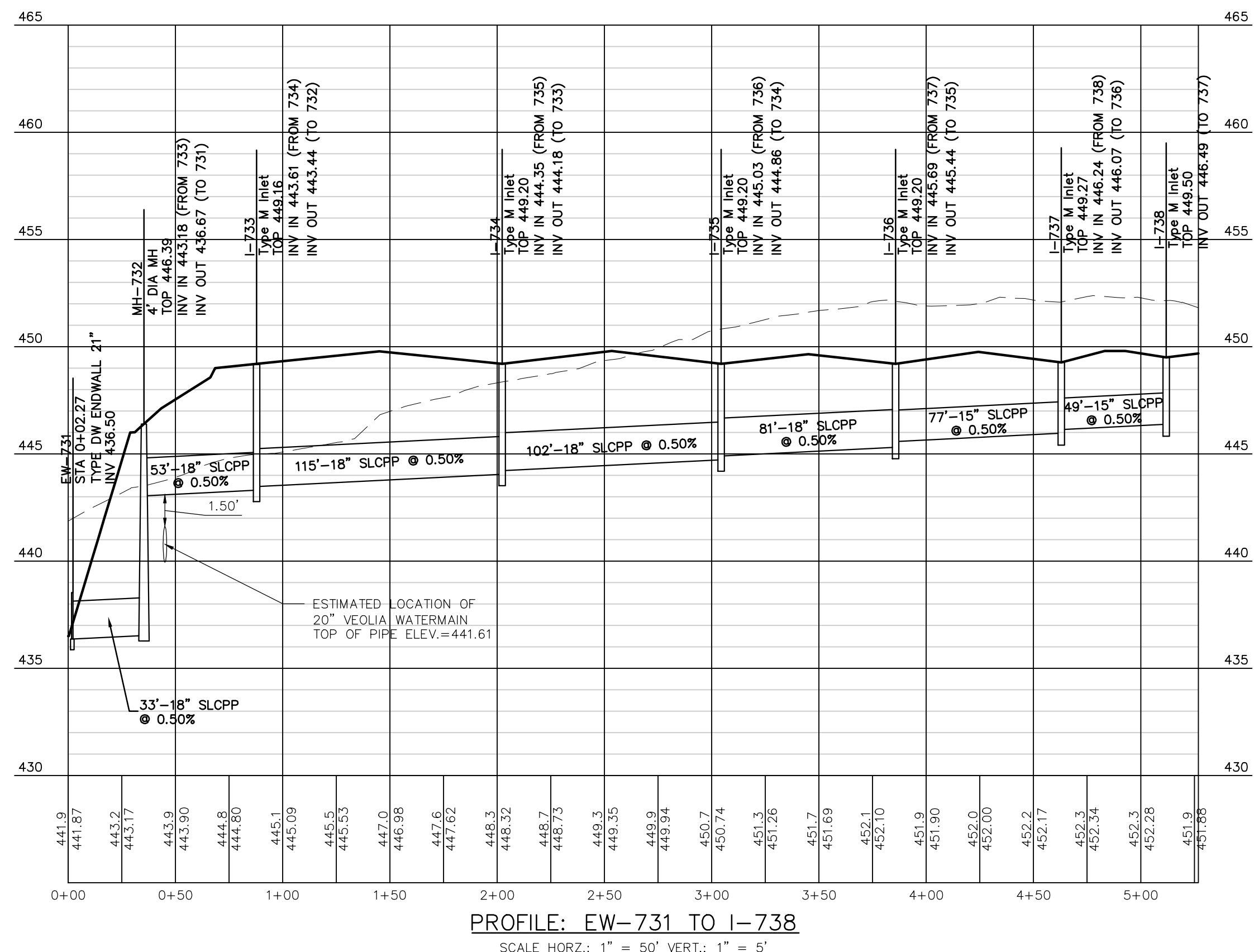
PLAN SCALE: 1" = 50'



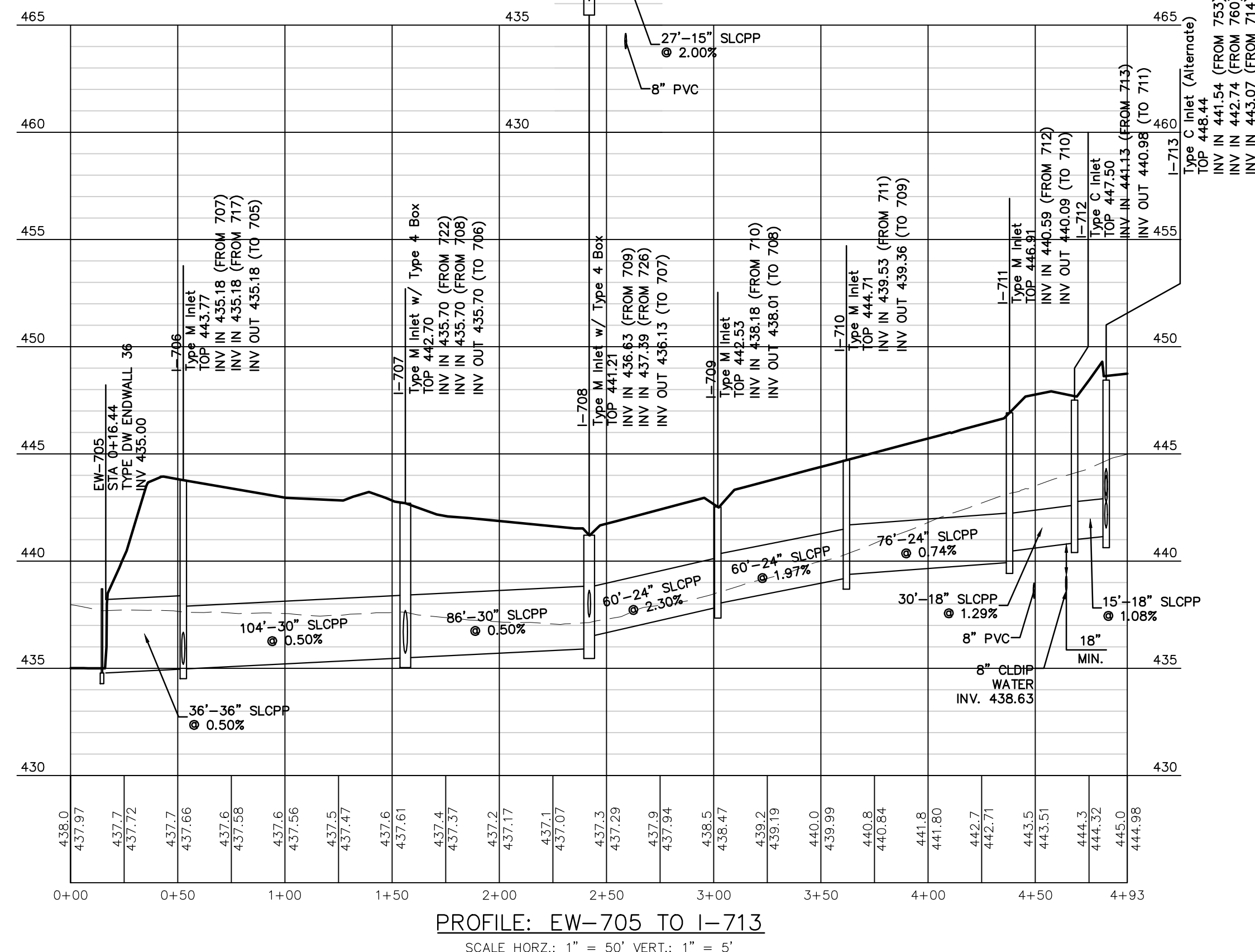
PLAN SCALE: 1" = 50'



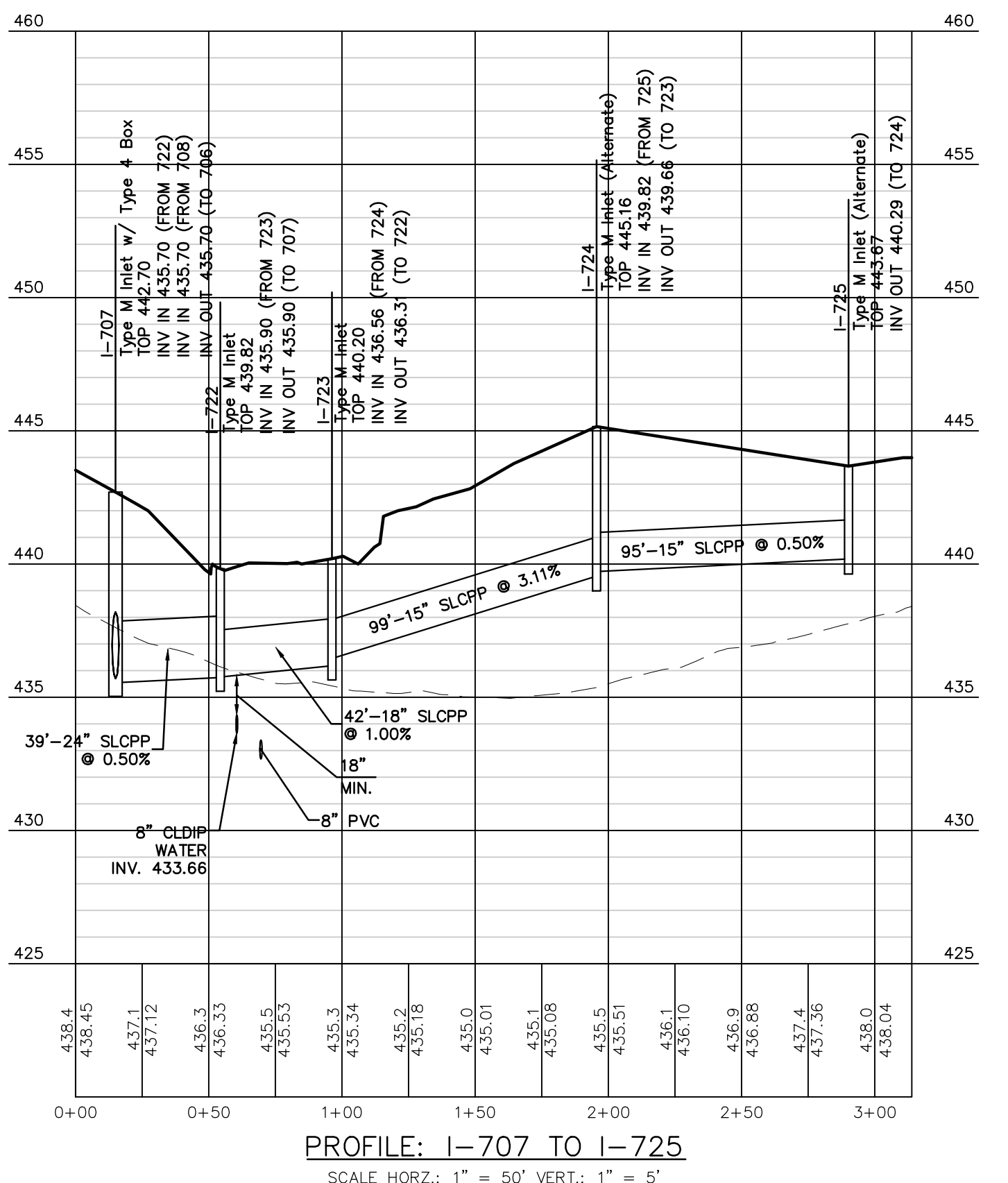
PLAN SCALE: 1" = 50'



PROFILE: EW-731 TO I-738  
SCALE: HORIZ.: 1" = 50' VERT.: 1" = 5'

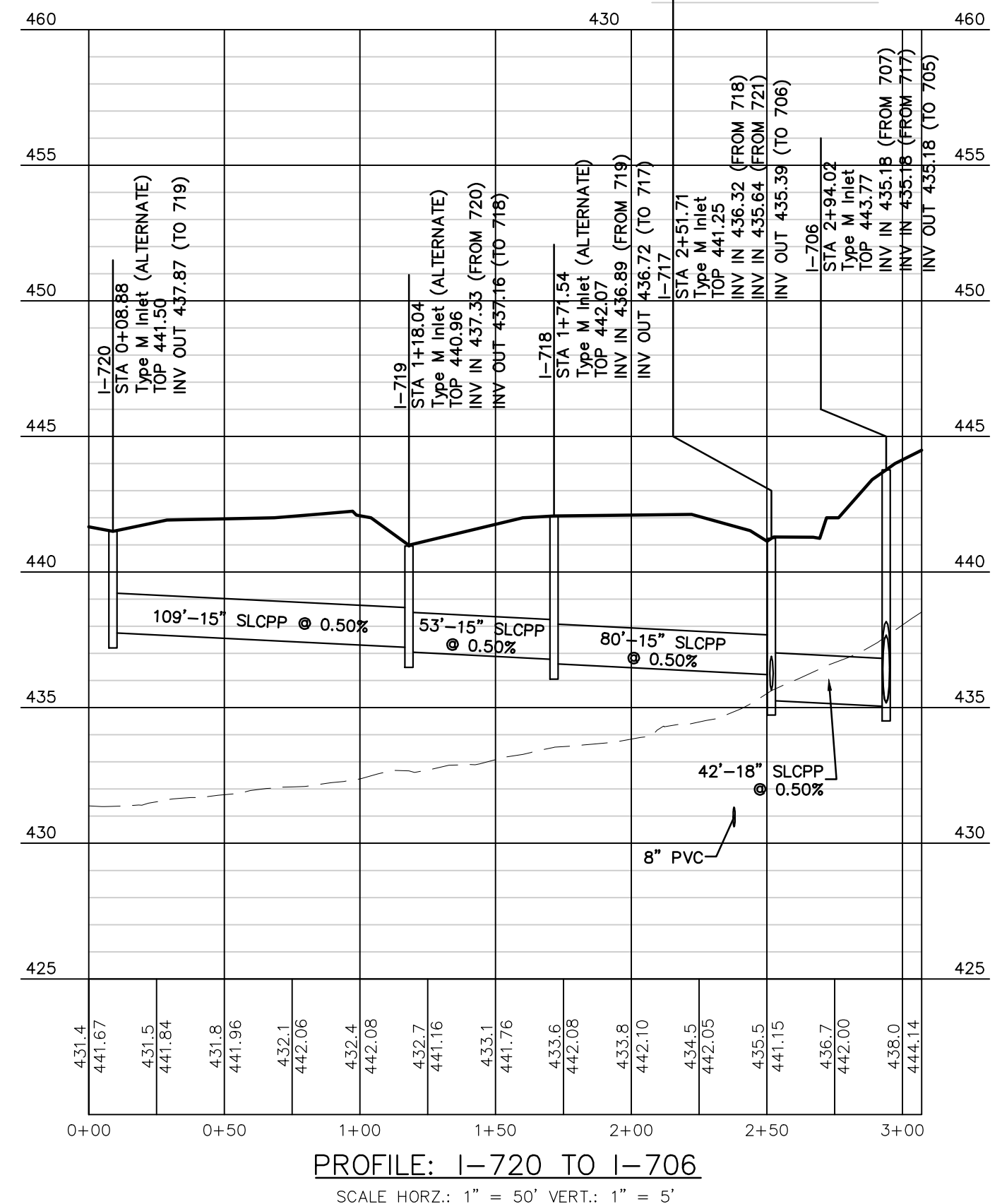
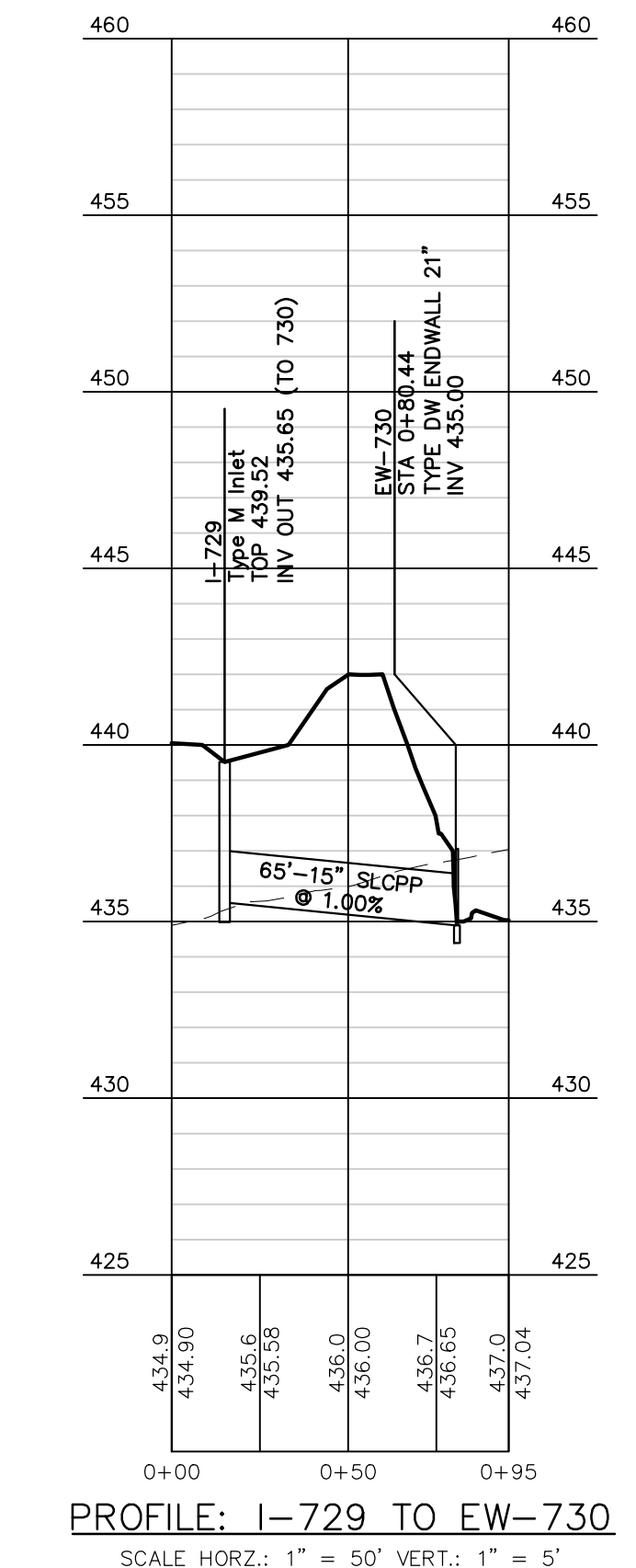
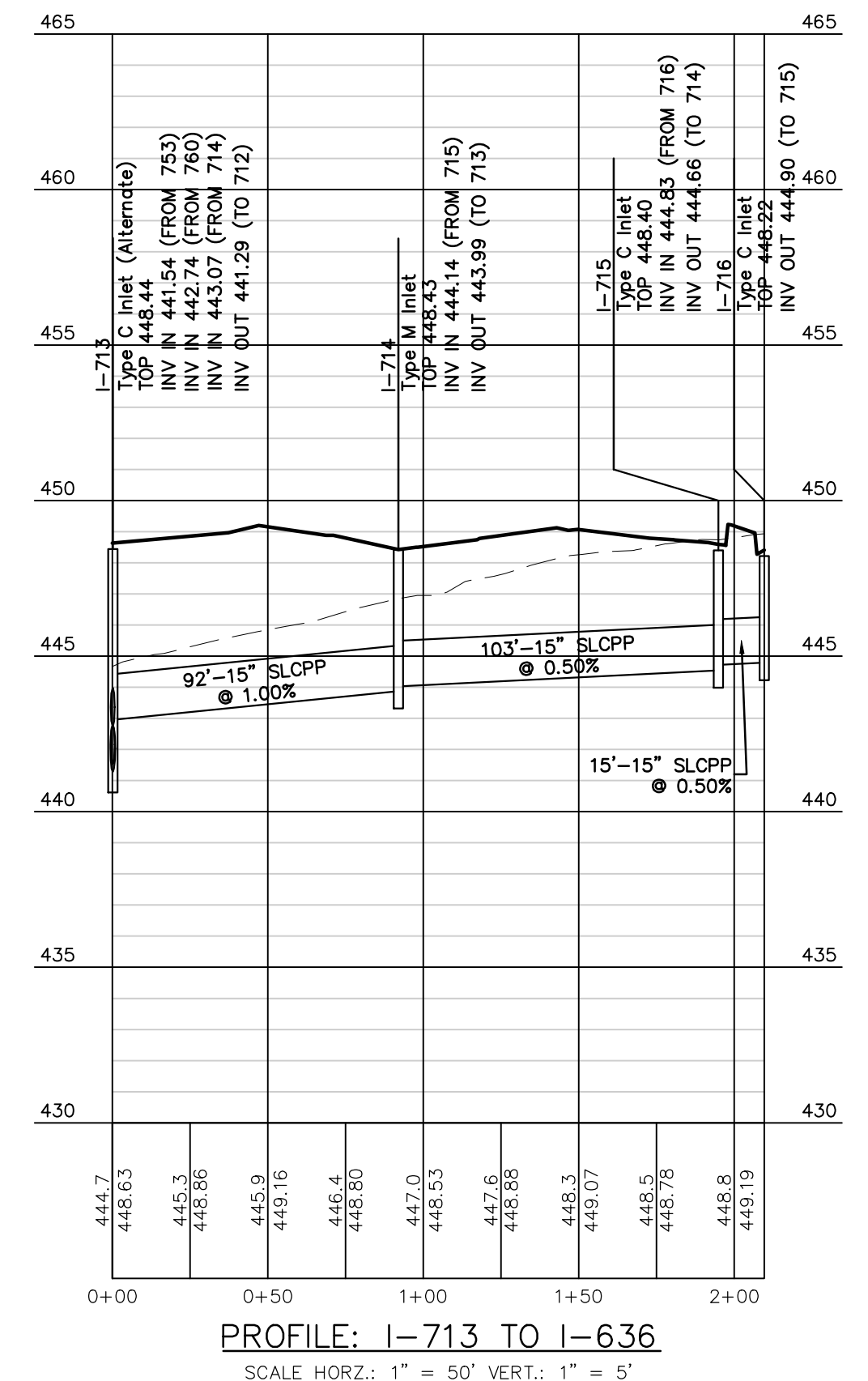
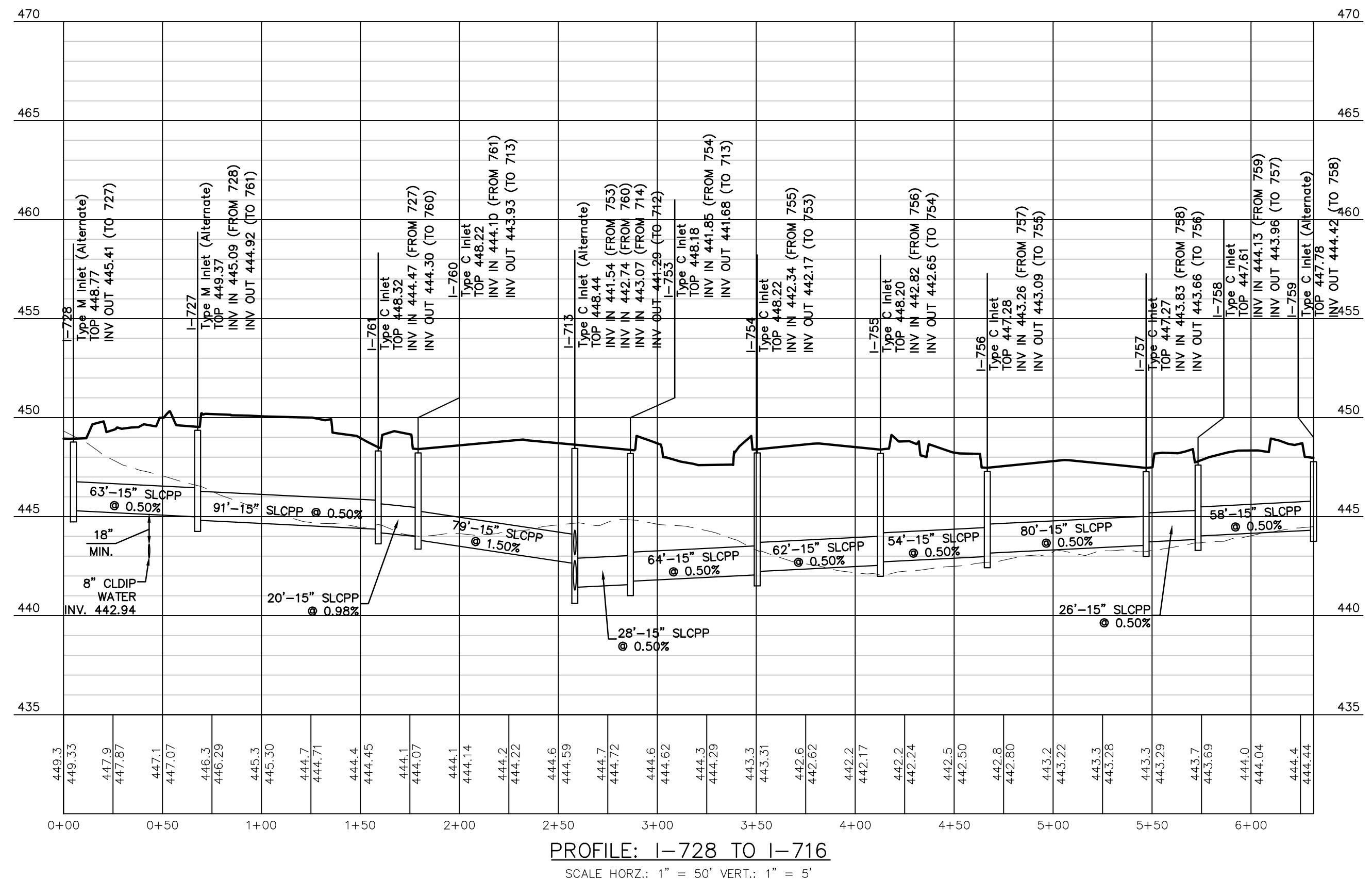
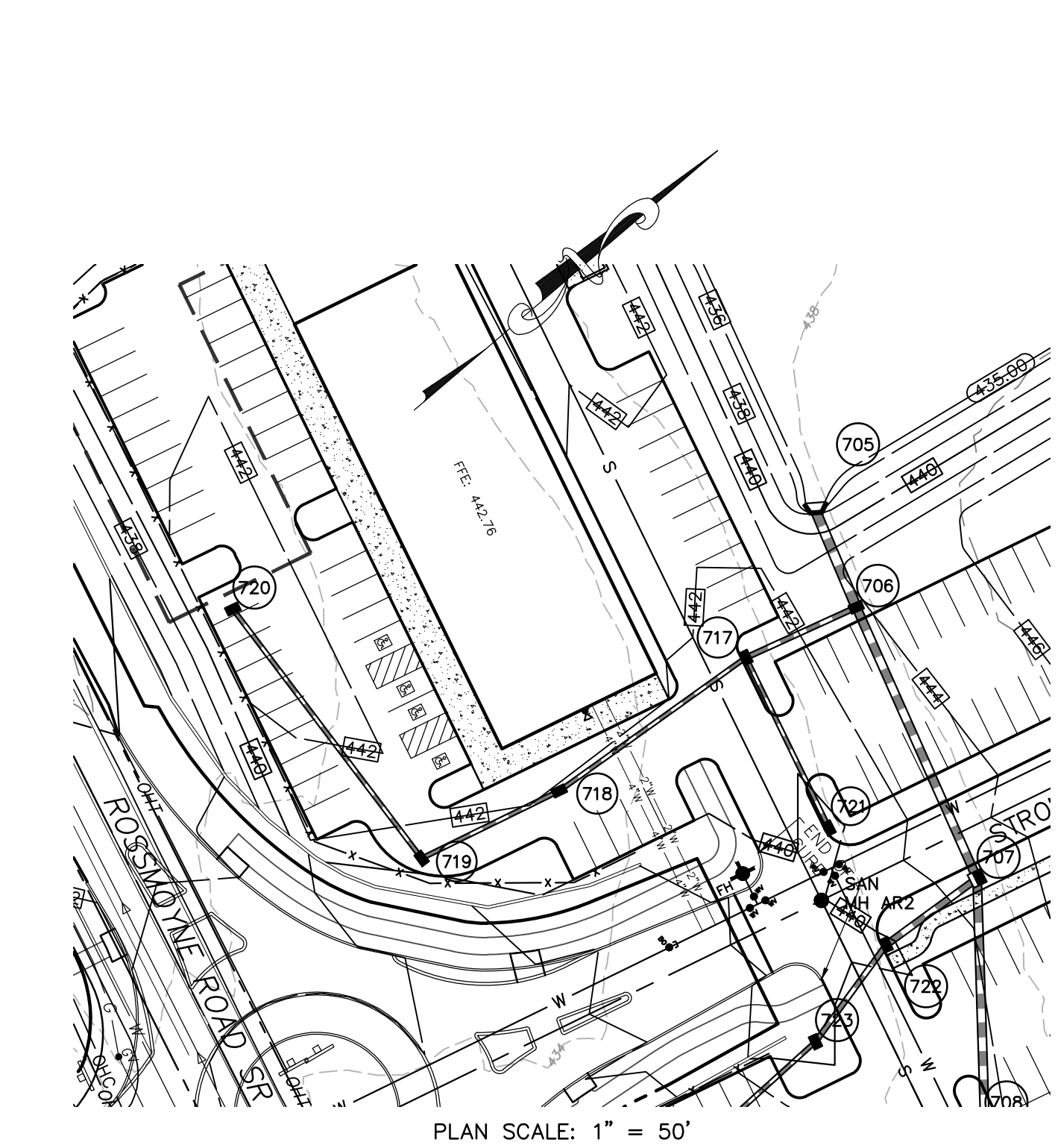
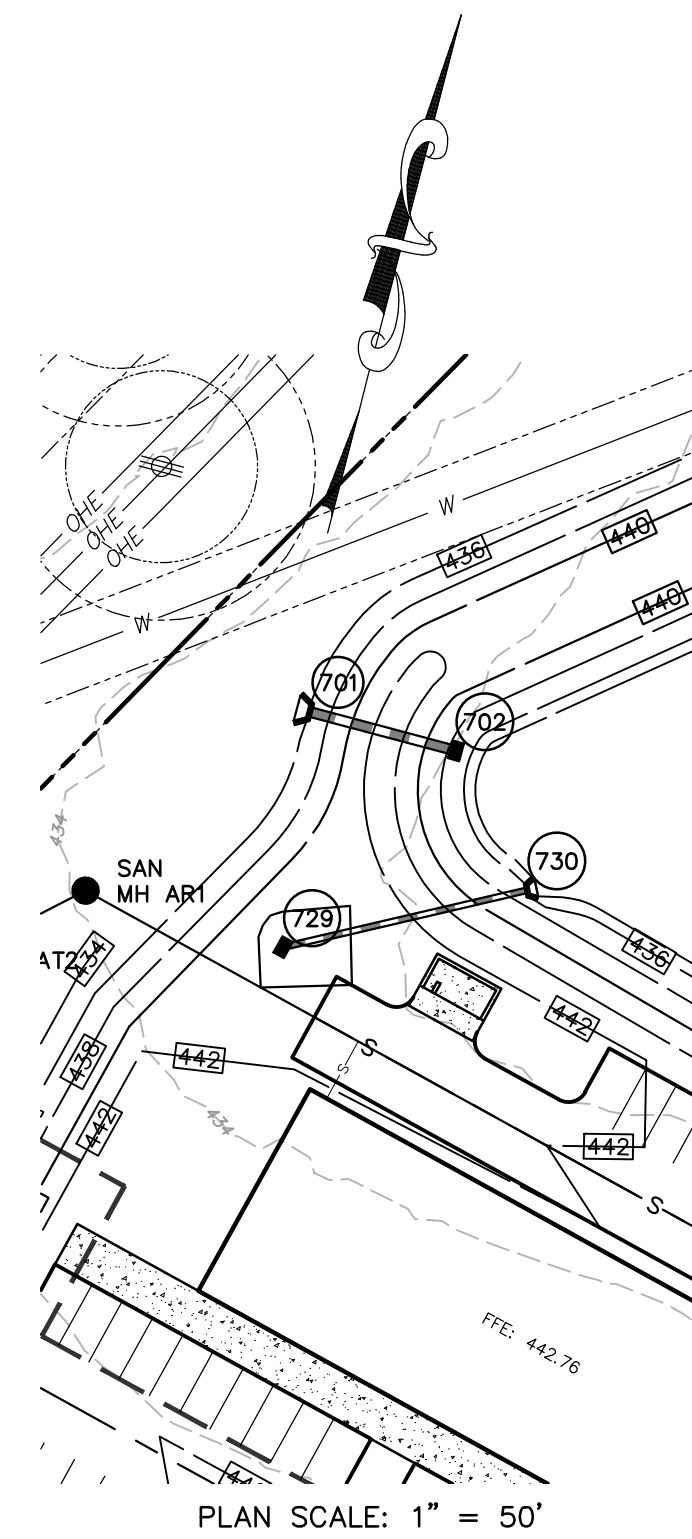
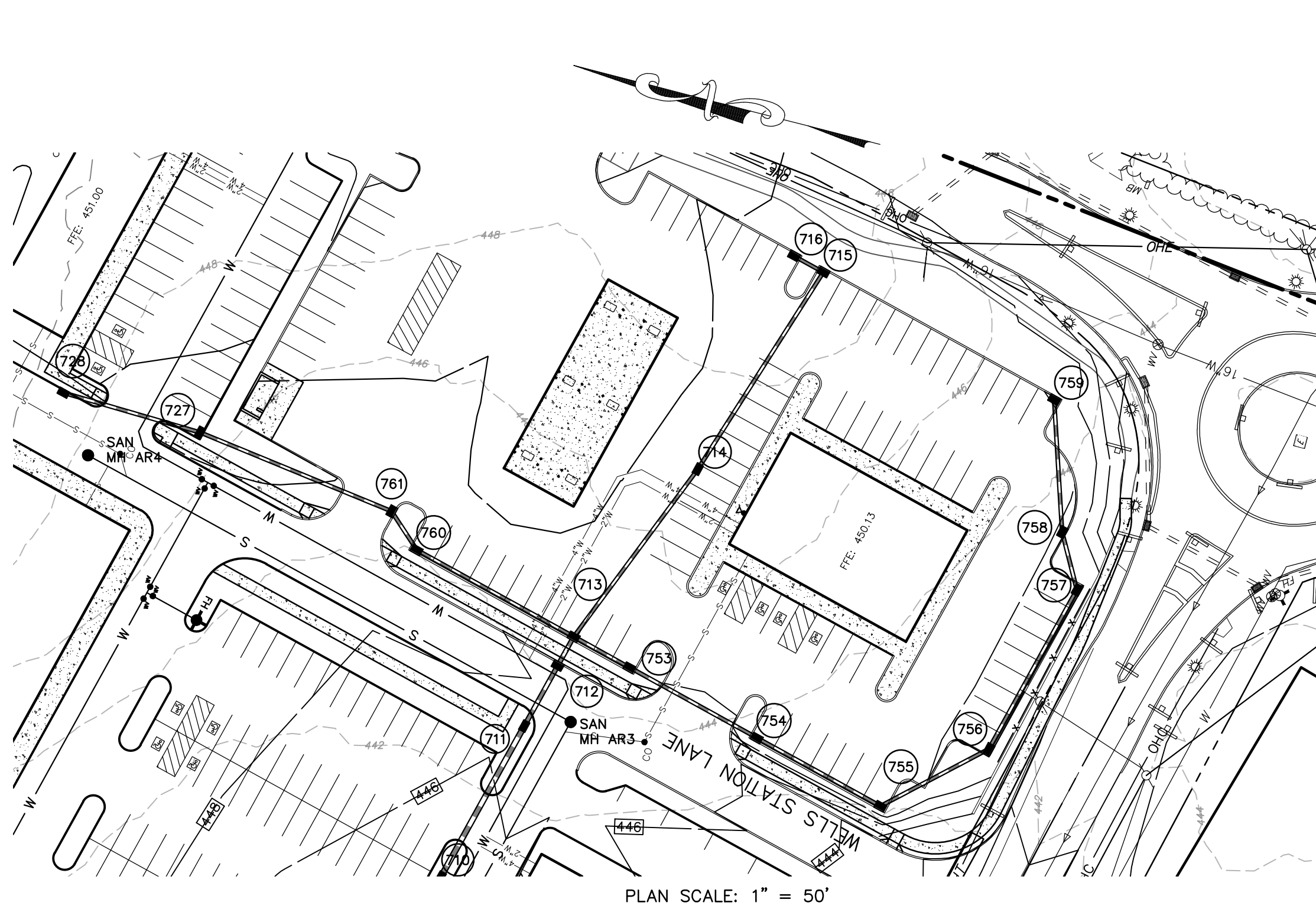


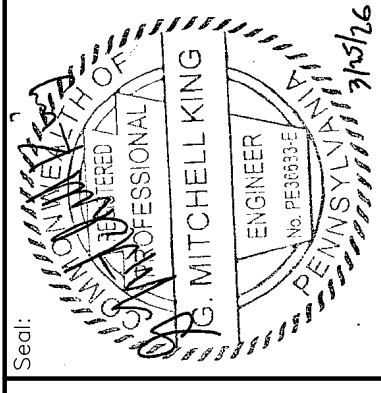
PROFILE: EW-705 TO I-713  
SCALE: HORIZ.: 1" = 50' VERT.: 1" = 5'



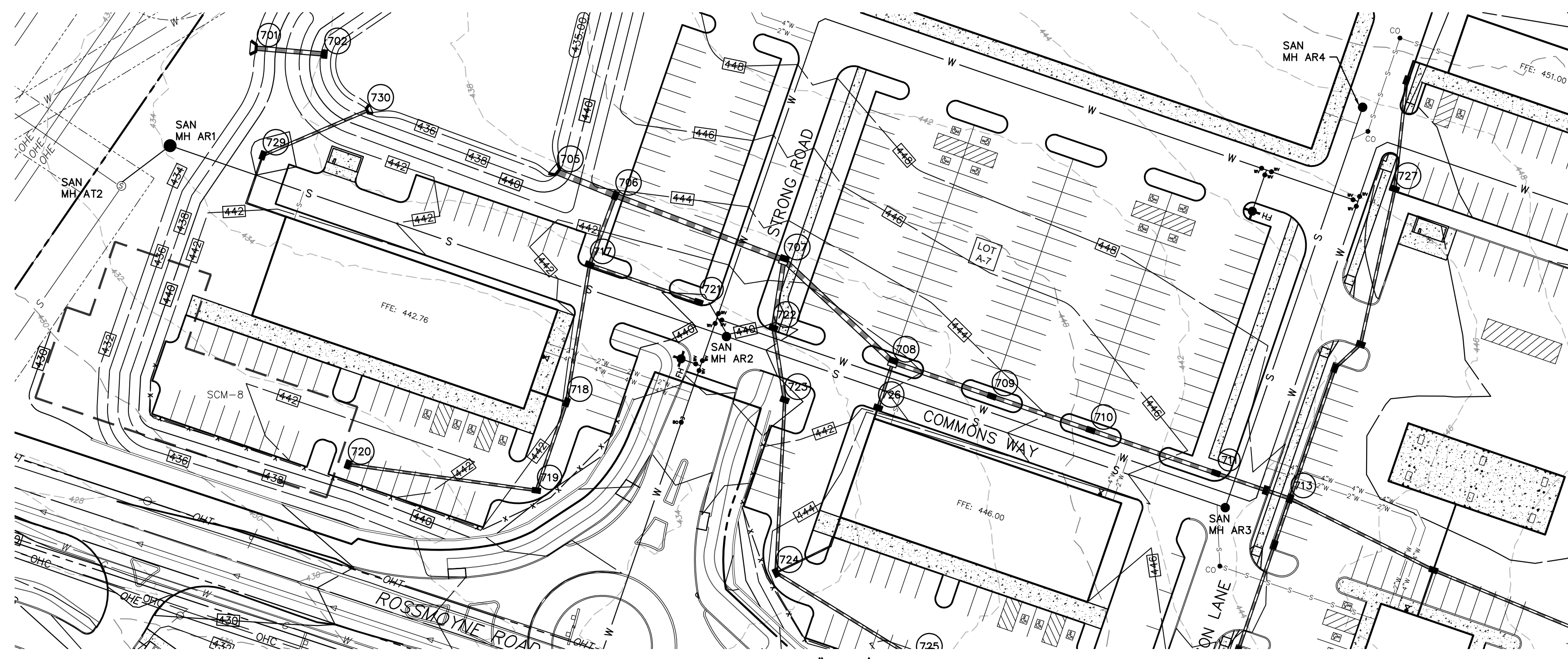
PROFILE: I-707 TO I-725  
SCALE: HORIZ.: 1" = 50' VERT.: 1" = 5'

L:\15-100-35\SHEETS\PRELIM\NEIGHBORHOOD 7\19 PF-02.DWG

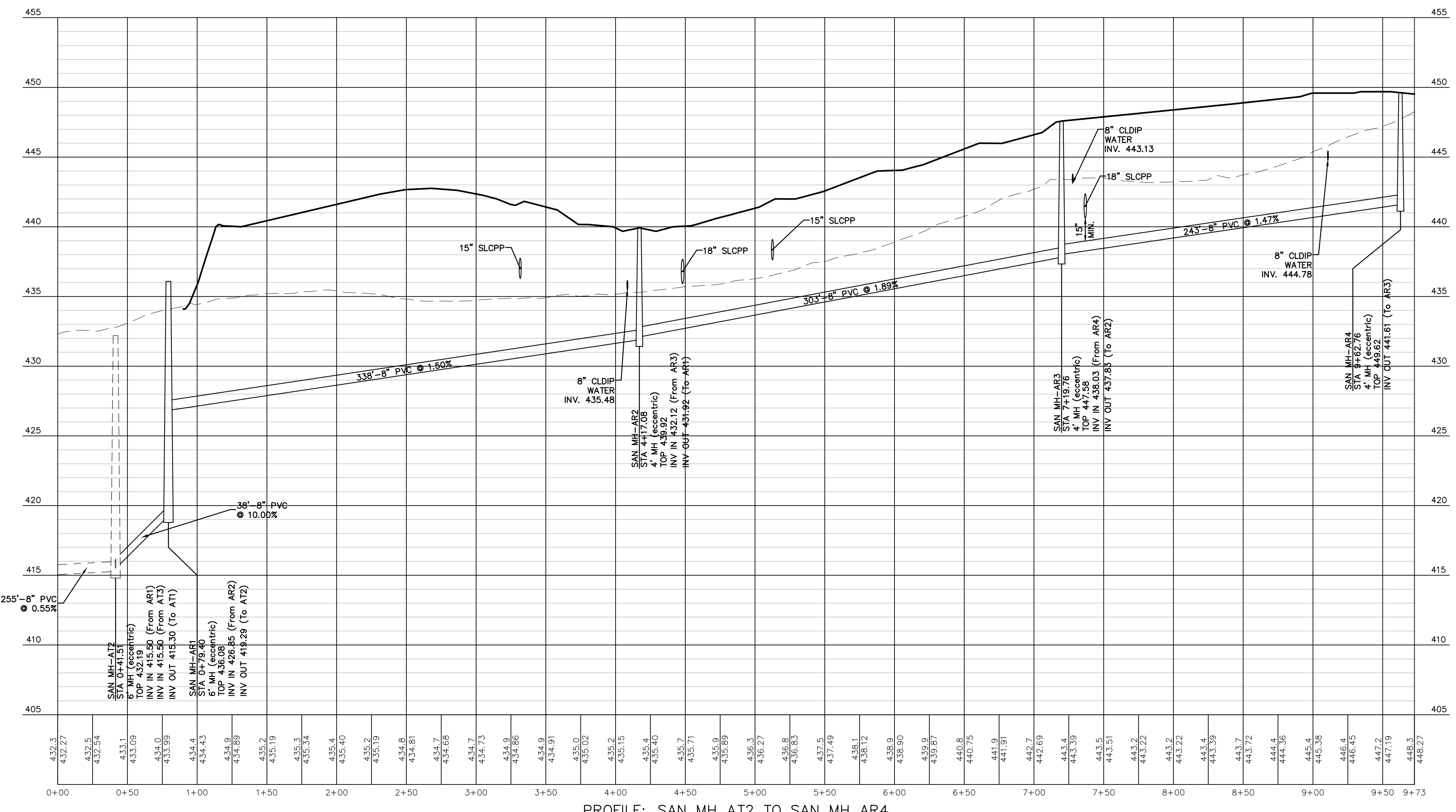




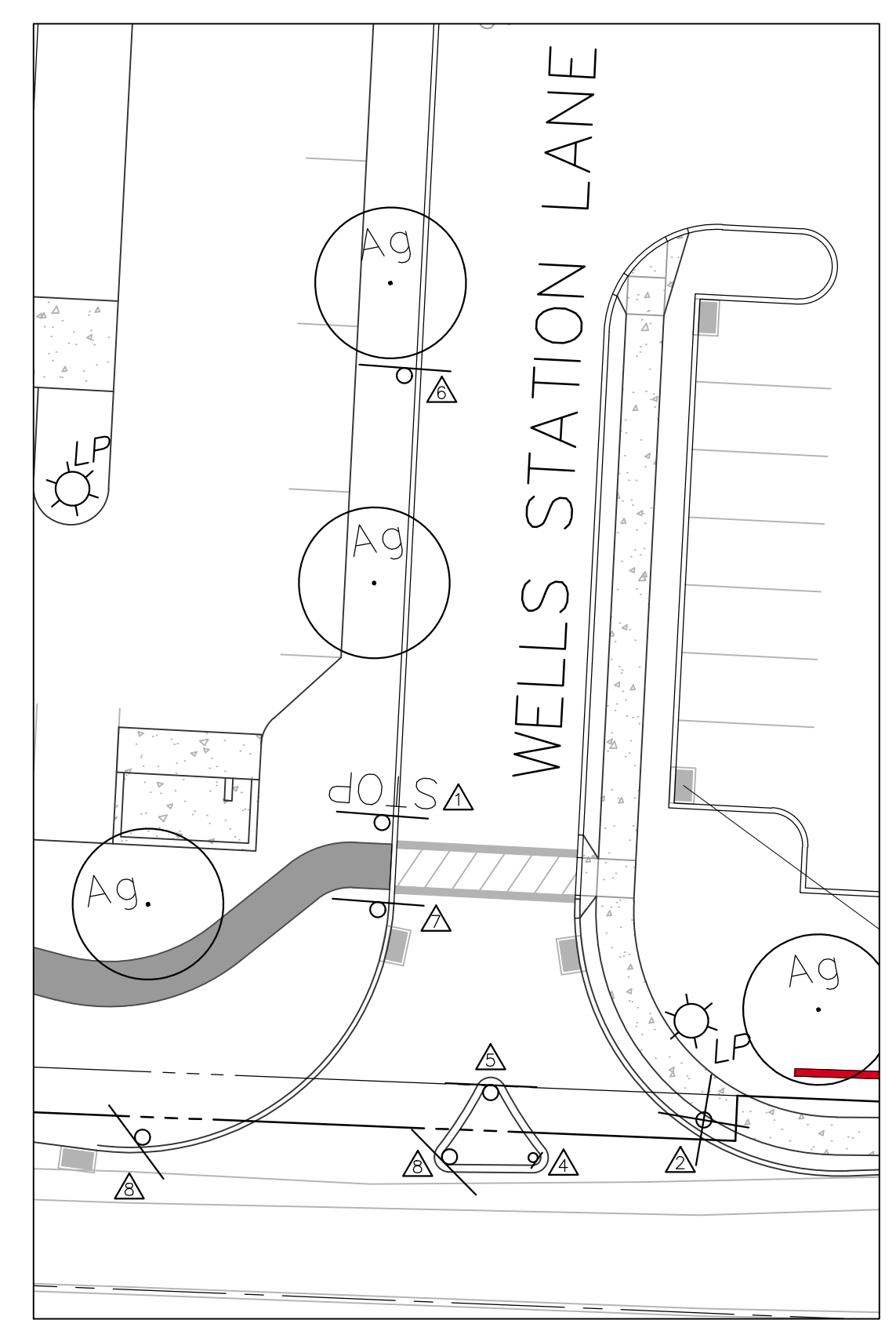
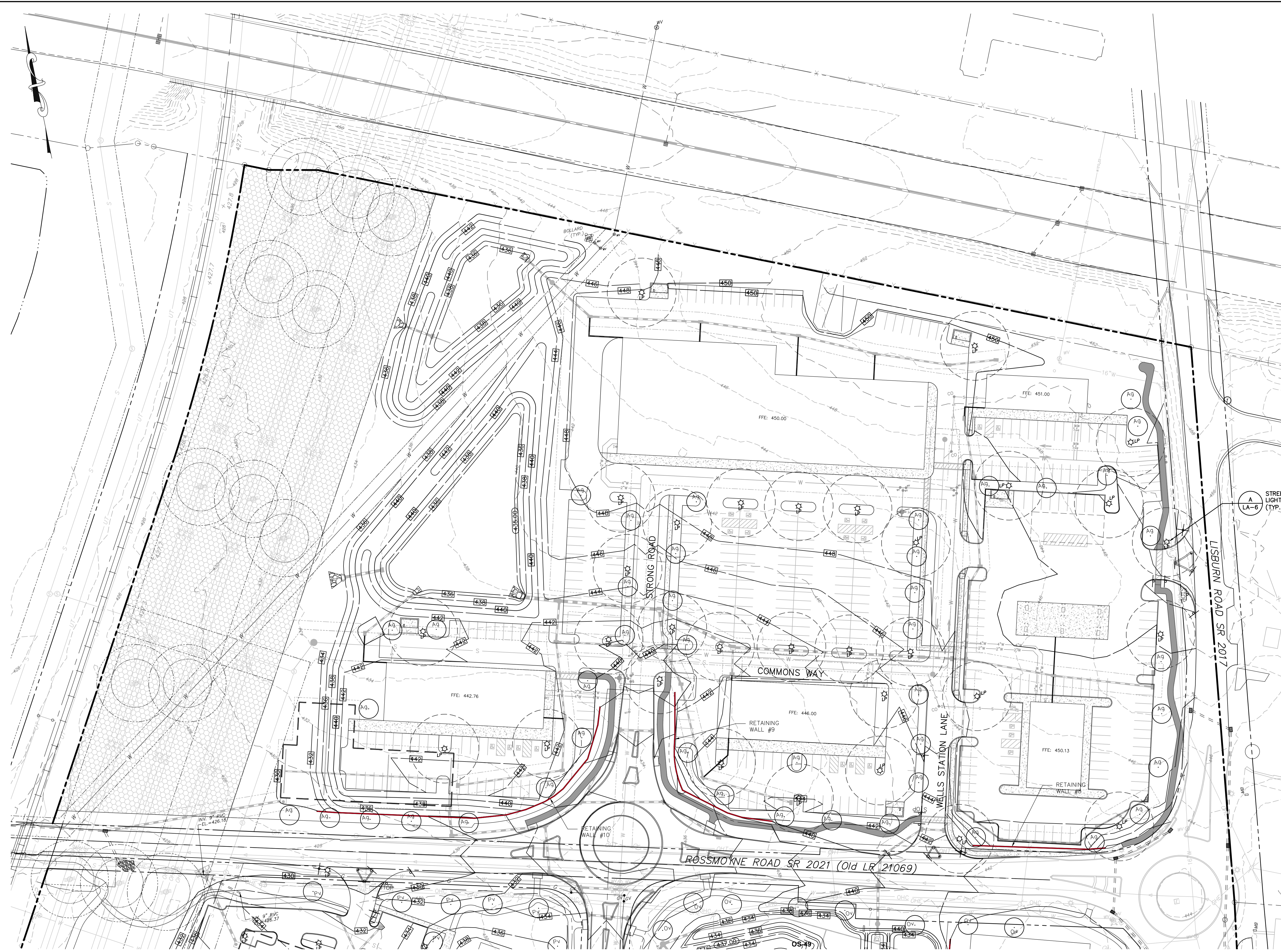
NO.	DATE	REVISIONS



PLAN SCALE: 1" = 50'

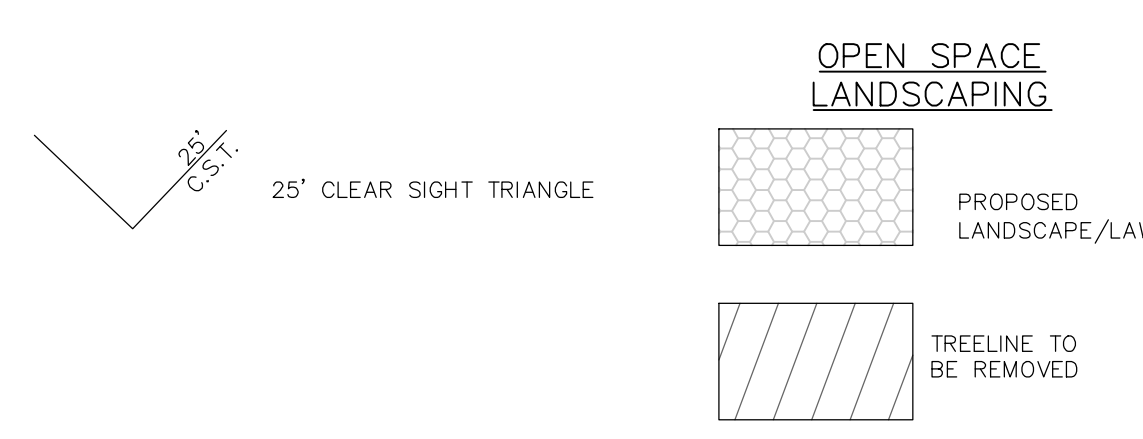


PROFILE: SAN MH AT2 TO SAN MH AR4  
SCALE HORZ.: 1" = 50' VERT.: 1" = 5'



**A** RIGHT-IN / RIGHT-OUT SIGN LOCATION DETAIL (TYP.)  
**LA-1** SCALE: 1" = 10'

**A** STREET LIGHT (TYP.)  
**LA-6** SCALE: 1" = 10'



SIGN LEGEND (Subject to PennDOT Approval)				
#	SYMBOL	DESCRIPTION	MUTCD #	DETAIL SHEET
1	STOP SIGN	STOP SIGN	R1-1	CD-1
2	STREET NAME	STREET NAME	-	CD-1
3	NO PARKING	NO PARKING	R8-3 & M6-4	LA-5
4	OBJECT MARKER	OBJECT MARKER	-	-
5	MEDIAN	MEDIAN	R4-7	LA-5
6	ALL TRAFFIC MUST TURN RIGHT	ALL TRAFFIC MUST TURN RIGHT	R3-7-14	LA-5
7	NO LEFT TURN	NO LEFT TURN	R3-2	LA-5
8	DO NOT ENTER	DO NOT ENTER	R5-1	LA-5

STREET TREES ARCONA PHASE 7					
QUANTITY	ABBREV.	BOTANICAL NAME	COMMON NAME	MATURE SIZE	SIZE-COMMENTS
44	Pv	Prunus virginiana 'Schubert'	Common Choke Cherry	25' ht 20' w	2.5" cal. B&B
<b>44</b>	<b>Total</b>				

NOTE:  
 PER ZONING SECTION 220-119.E.(5), SECTION 220-200 IS EXCLUDED.

Street Length Summary Neighborhood 7		
Description	LF	# of Trees Required *
Existing Street **	1,657 L.F.	34
Proposed Street	0 L.F.	0
Proposed Access Drive	210 L.F.	10
<b>Total</b>	<b>1,867 L.F.</b>	<b>44</b>

Number of trees required:  
 \* 1 tree per every 50' both sides on Proposed Length.  
 \*\* 1 tree per every 50' of Existing Length on the side of proposed development.

Sheet Number: 22 of 24  
 Project Number: 15-100-35  
 Date: MARCH 27, 2026

**ARCONA NEIGHBORHOOD 7**  
 Lower Allen Township - Cumberland County, PA  
 CHARTER HOMES & NEIGHBORHOODS

Project Manager: DAVID B. KEGERIZE PE  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS

Drafting: D TURNER  
 Checked by: K POSTLETHWAIT

Scale: 1" = 50'

Scale: 0 25 50 100 150

313 W. Liberty St., Suite 241 Lancaster, PA 17603 Phone: (717) 283-4538  
**TOWNE SQUARE ENGINEERING**  
 Civil Engineers & Land Planners  
 info@townesquareengineering.com

Section Number: LA-1  
**PRELIMINARY**

3/26/2026 4:25 PM

**LANDSCAPE NOTES FOR ARCONA NEIGHBORHOODS 7:**

- The landscaping, screening, buffering, street trees, street lights, outdoor lighting, neighborhood entry monuments and other amenities depicted on this Landscaping Plan are intended to demonstrate material compliance with Lower Allen Zoning Ordinance §220-200, §220-201, §220-202 and Lower Allen Subdivision & Land Development Ordinance §192-58 and §192-63 G and to serve as a general guide. All locations shown are approximate and will be subject to adjustments and modifications by Applicant to fit actual site conditions, resolve additional conflicts (especially with utilities), and to improve design and aesthetics. Specific locations, species, and other specifics may be altered and/or substituted provided that the minimum requirements of applicable ordinances are still met. Any alteration and/or substitution to this Landscaping Plan that does not comply with the minimum requirements of applicable ordinances shall not be made unless all applicable waivers, modification or variances are obtained from the Board or Commissioners or Zoning Hearing Board, as applicable. Lower Allen Township reserves the right to inspect construction to verify compliance with Township ordinances and the intent of this Landscape Plan.
- Applicant shall be required to meet the minimum total number of street trees required per this plan albeit in differing locations for necessary and permitted adjustments.
- The precise locations and geometrical layout of walking trails ("trail") as depicted on this Landscaping Plan will be altered by Applicant to fit actual site conditions, resolve additional conflicts (especially with utilities), and to improve design and aesthetics. However, the point(s) of origin(s) and terminus(es) as well as the overall length of the trail(s) shall remain materially the same. The width and construction specification (material/surface, depth of pavement) of the trail(s) shall not be altered. The Applicant hereby grants an easement for public access over all trails shown on this plan. Each trail shall be a hard surface, and shall be not less than six (6) feet wide.
- Street trees shall not be planted on sanitary sewer or water laterals.
- All underground utilities shown are approximate.
- Contractor to field verify locations of all underground utilities prior to the start of construction.
- Trees which have died or have become diseased or pest-ridden within 18 months from the time of planting shall be replaced by the developer.

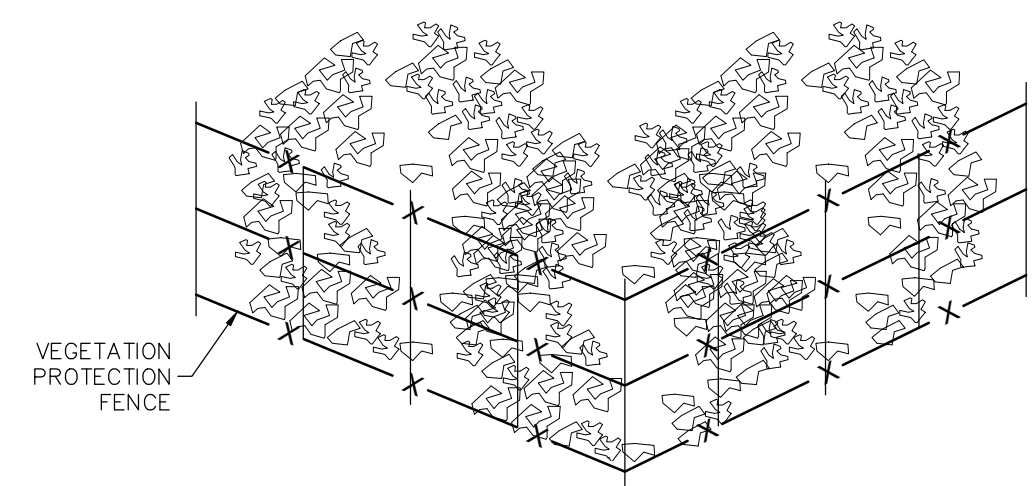
**PLANTING NOTES:**

- All trees and shrubs shall be as specified, and shall be installed in accordance with the details and comments noted on the Drawings. No plant substitutions unless approved by the owner and/or the Township.
- The contractor shall furnish, deliver and install all plant materials. All plant materials shall have a normal habit of growth and shall be free of disease, insects or insect eggs. Plants shall conform to the American Association of Nurserymen's *American Standard for Nursery Stock* (latest edition).
- Inspection of Planting Beds** - The contractor shall inspect all planting areas before any top-soiling or planting is begun to insure that adequate drainage exists. If any areas to be landscaped show evidence of poor drainage, the Contractor shall notify the Owner immediately for corrective action. Any plant material that dies due to poor or inadequate drainage shall be the responsibility of the Landscape Contractor.
- The Contractor shall notify the owner and request approval all plant materials. If requested by owner, stake plant locations prior to installation.
- All plant material shall be guaranteed for eighteen (18) months from the date of completion of installation.
- Any plant material that does not survive within initial planting shall be removed and replaced within thirty (30) days during the subsequent planting season.
- The Contractor shall maintain all plantings prior to the beginning of the guarantee period by watering, fertilizing, disease control, pruning, weeding, etc. so as to keep the completed work and/or uncompleted work in a clean and neat condition at all times. An additional maintenance period duration should be agreed to by the owner, if requested.
- Prepare soils according to specifications and details. Remove rocks and debris.
- Finish grade and "firm" the soil to avoid excessive settling. Caution: Avoid over compaction, minimize activities over newly cultivated soils.
- Mulch planting beds with properly composted mulch to a depth of no more than 2". Keep mulch back 2" from the base of the trunk.
- Pre-emergent herbicide such as "Eptam" shall be applied to all planting beds according to manufacturer's recommendation (prior to placement of mulch). A second application of pre-emergent herbicide shall also be included as part of this work.
- Street trees shall be planted in a bed of structural soil. The structural soil shall be CU-Structural Soil as supplied by an AMEREQ - licensed company. A minimum of two cubic feet of structural soil per square foot of tree crown area shall be provided. (Use \* 620 c.f. of CU-Soil for Autumn Brilliance Service Berry, American Hop-hornbeam, and Choke Cherry).

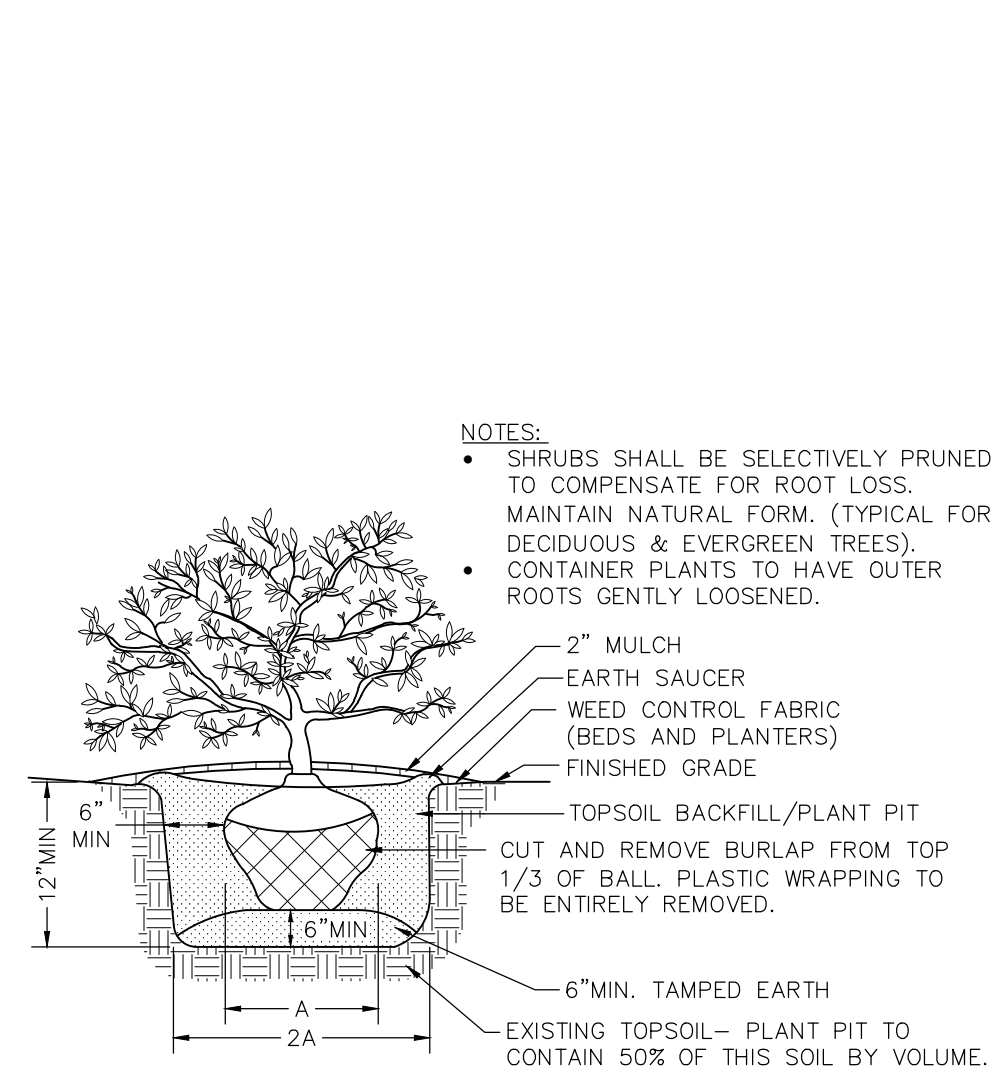
**NOTES:**

- MATERIAL** - Fence. Acceptable, undamaged, standard picket snow fence or other acceptable, highly visible, weather resistant, easily maintained fencing that provides a substantial barrier.
- Pests**. High carbon channel steel, 7"(feet) in length. Designed to drive satisfactorily into the ground and with at least 10 fence holding lugs of rivet type. Other posts may be accepted by the engineer.
- CONSTRUCTION** - Fence desirable wooded areas, individual trees, and shrubs designated for protection, before beginning other general project work. Where directed, fence other areas to be protected. Do not stockpile materials under, or within, protected vegetation areas. Prohibit construction traffic within protected areas. Place the fence at the drip line of trees or plants, but avoid causing root damage when driving posts. Replace damaged fence in kind within 24 hours of damage. Remove temporary protection, when directed.

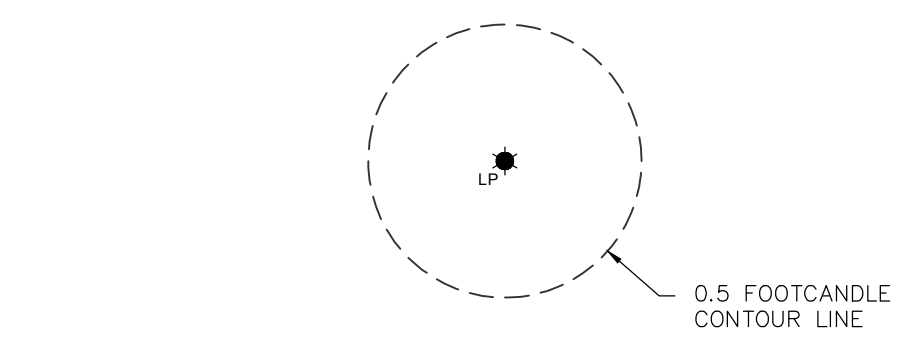
A PROTECTION FENCE WILL BE SET UP AT THE DRIP LINE OF ANY WOODY VEGETATION THAT IS WITHIN 25' OF ANY IMPROVEMENTS AS SHOWN ON PLAN.



**B TREE PROTECTION DETAIL**  
LA-2 NOT TO SCALE



**D SHRUB PLANTING DETAIL**  
LA-2 NOT TO SCALE



**0.5 ISOFOOTCANDLE LINE OF HORIZONTAL ILLUMINANCE**  
NOT TO SCALE

**OUTDOOR LIGHTING**

**ACORN**

LUMINAIRE: Acorn, black or green

LAMP SIZE: 5,800 lumens (70 watt) or 9,500 lumens (100 watt)

LAMP TYPE: High-pressure sodium

POLE: 11' x 1.5" dia black or green fiberglass, boulevard style, mounted on a concrete foundation

ALTERNATE POLE: 14 foot round black steel or anodized aluminum

ELECTRIC SUPPLY: Underground

RATE: Low-mount underground, high-pressure sodium (SHS)

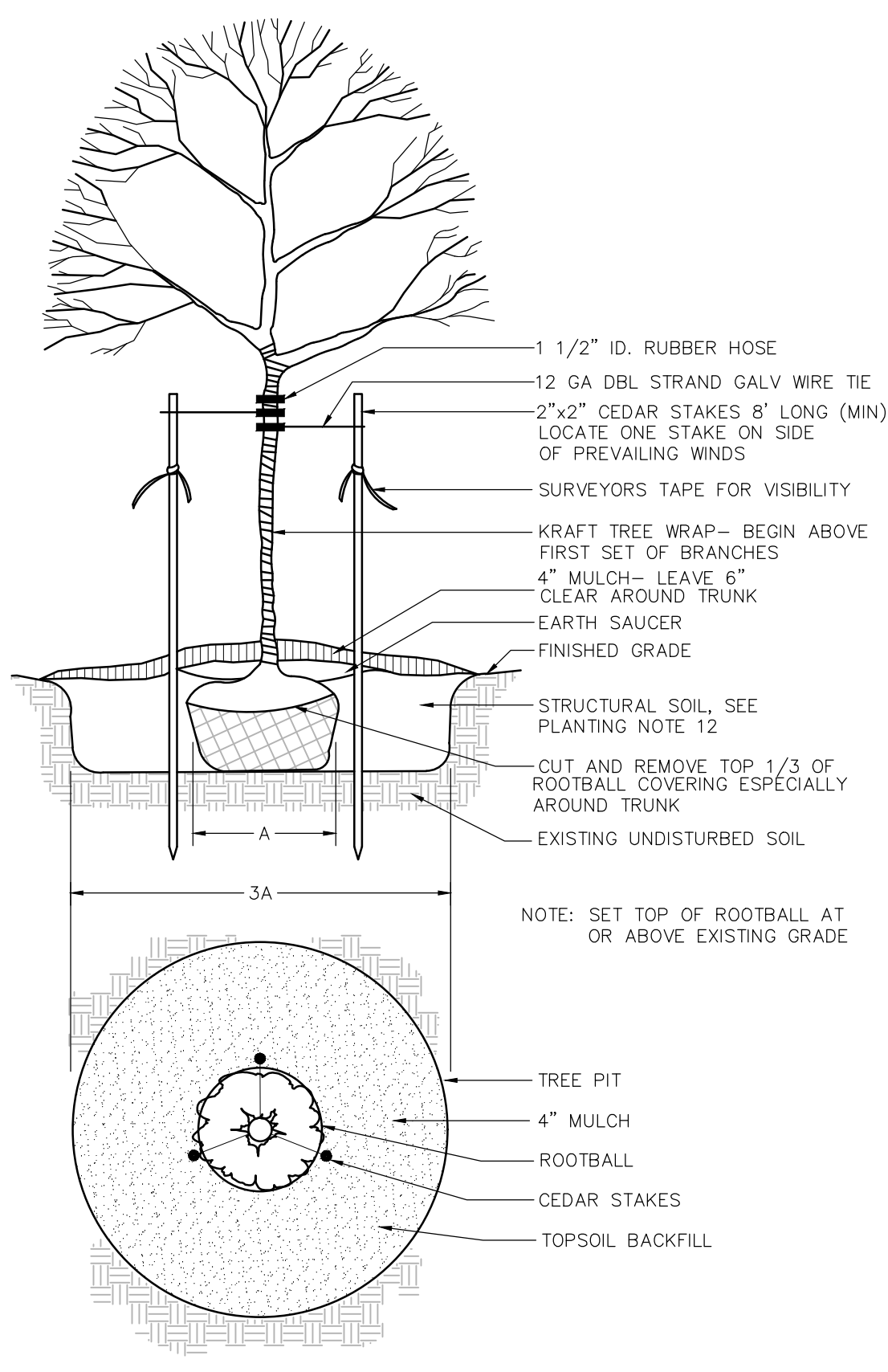
Want to know more about the PPL Electric Utilities Outdoor Lighting Program? Call your PPL Electric Utilities representative or PPL Electric Utilities Customer Service Answer Line at 800-842-5775 (PPL) during business hours 8 a.m. to 5 p.m.

**ACORN**

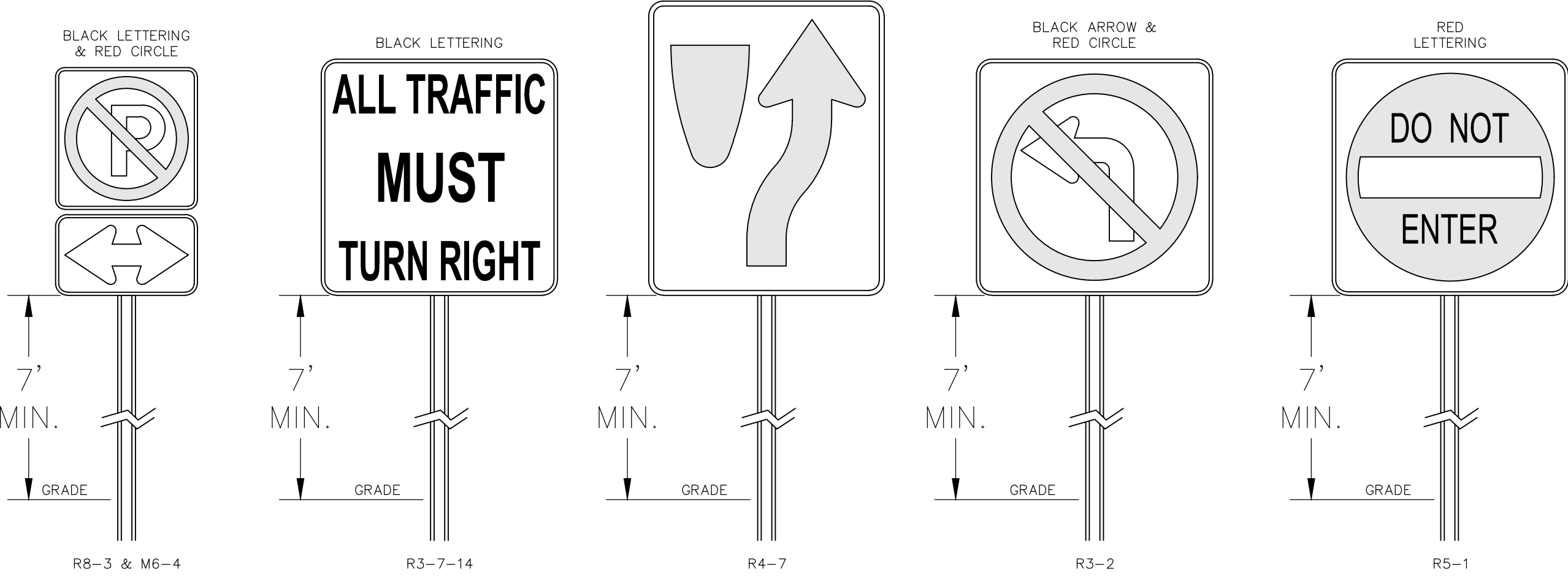
- LAMP SIZE: 5,800 LUMEN (70 WATT)
- POLE HEIGHT: 11'
- POLE COLOR: BLACK

**A TYPICAL LIGHT - ACORN / PPL**  
LA-2 NOT TO SCALE

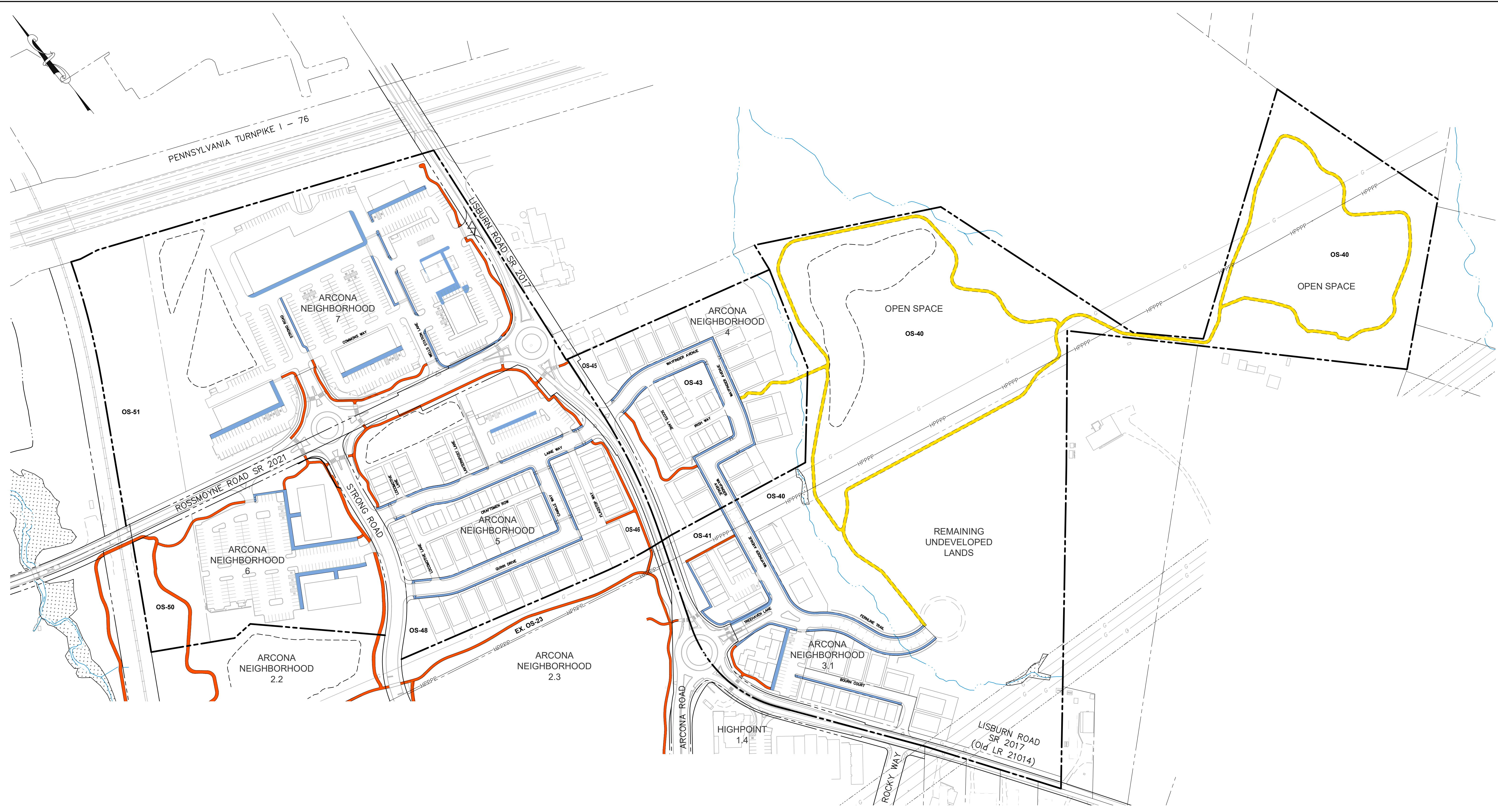
**NOTE:**  
STREET LIGHT FIXTURES SHALL MEET LAMP AND WIRING STANDARDS ESTABLISHED BY PPL.



**C DECIDUOUS TREE PLANTING DETAIL**  
LA-2 NOT TO SCALE



**E SITE INFORMATION SIGNS DETAILS**  
LA-2 NOT TO SCALE



**LEGEND**

SIDEWALK	
PAVED TRAIL	
UNPAVED TRAIL	

Sheet Number: <b>24 of 24</b>	
Project Number: <b>15-100-35</b>	
Date: <b>MARCH 27, 2026</b>	
<b>ARCONA NEIGHBORHOOD 7</b>	
Lower Allen Township - Cumberland County, PA CHARTER HOMES & NEIGHBORHOODS	
<b>PEDESTRIAN ACCESS PLAN</b>	
Project Manager: <b>DAVID B. KEGERIZE PE</b> Project Engineer: <b>G. MITCHELL KING PE, PLS</b> Project Surveyor: <b>THOMAS K. PHILLIPS PLS</b>	Drafting: <b>D TURNER</b> Checked by: <b>K POSTLETHWAIT</b> Scale: <b>1"=120'</b>
313 W. Liberty St., Suite 241 Lancaster, PA 17603 Phone: (717) 283-4538 <b>TOWNE SQUARE ENGINEERING</b> <b>Civil Engineers &amp; Land Planners</b> info@townesquareengineering.com	
Section Number: <b>LA-3</b> <b>PRELIMINARY</b>	

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